



## APPENDICES

**Prewitt Industrial Park**  
MASTER PLAN AND PRELIMINARY DESIGN



**WILSON & COMPANY**  
HIGHER RELATIONSHIPS

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## Appendix A – Design Drawings for Proposed Industrial Park

**Prewitt Industrial Park**  
MASTER PLAN AND PRELIMINARY DESIGN



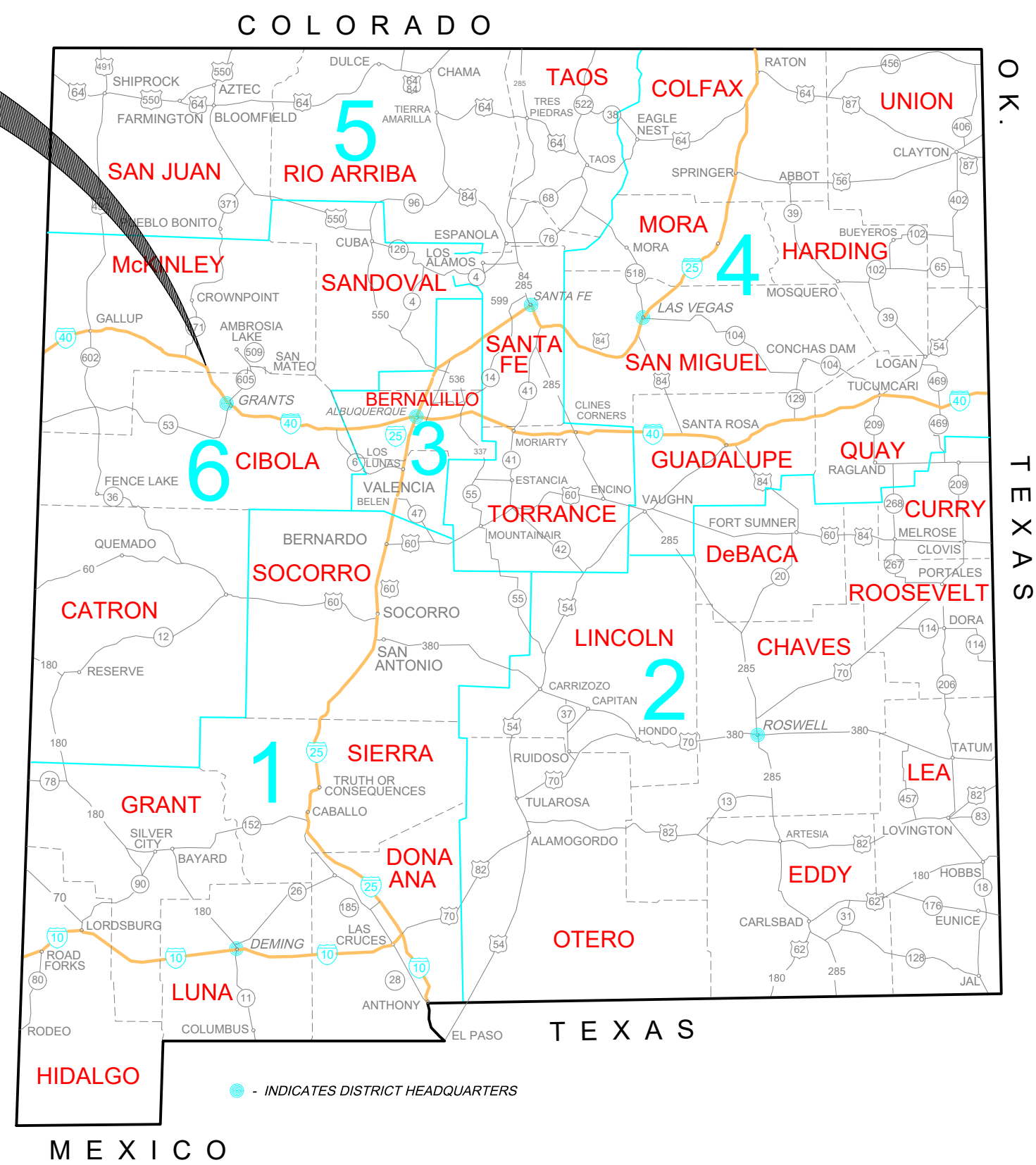
**WILSON & COMPANY**  
HIGHER RELATIONSHIPS

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# CONSTRUCTION PLANS FOR PREWITT INDUSTRIAL PARK

## PREWITT, NEW MEXICO PROJECT INFO:

SITE LOCATION  
PROJECT TERMINUS:  
STATION TO STATION  
0 FT = MILES

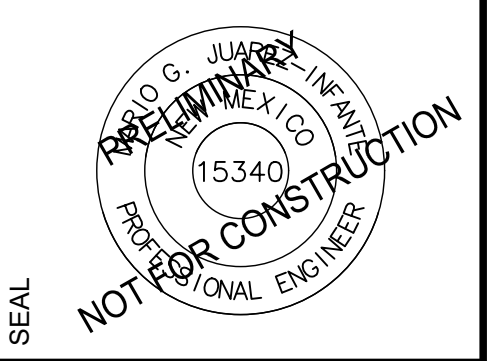


*LOCATION MAP*  
NTS

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C-101	GENERAL NOTES
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C-103	HORIZONTAL LAYOUT
C-104	OVERALL GRADING PLAN
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C-303	INDUSTRY WAY NO. 1 ROAD PLAN & PROFILE
C-304	INDUSTRY WAY NO. 1 ROAD PLAN & PROFILE
C-305	INDUSTRY WAY NO. 1 ROAD PLAN & PROFILE
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C-308	INDUSTRY WAY NO. 2 ROAD PLAN & PROFILE
C-309	INDUSTRY WAY NO. 2 ROAD PLAN & PROFILE
C-310	INDUSTRY WAY NO. 2 ROAD PLAN & PROFILE
C-311	INDUSTRY WAY NO. 2 ROAD PLAN & PROFILE
C-312	MCKINLEY PAPER ROAD PLAN & PROFILE
C-313	MCKINLEY PAPER ROAD PLAN & PROFILE
C-314	MCKINLEY PAPER ROAD PLAN & PROFILE
C-315	ESCALANTE ROAD PLAN & PROFILE
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C-321	ARRIVAL TRACK PROFILE
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C-503	WATER DETAILS
C-504	WATER DETAILS
C-505	WATER DETAILS
C-506	WATER DETAILS
C-507	PAVING DETAILS

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CONSULTANTS



PROJECT NAME  
**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
 DESIGNED BY: MJI  
 DRAWN BY: JJC/MIT/WGC  
 CHECKED BY: ---  
 DATE: JUNE 2020

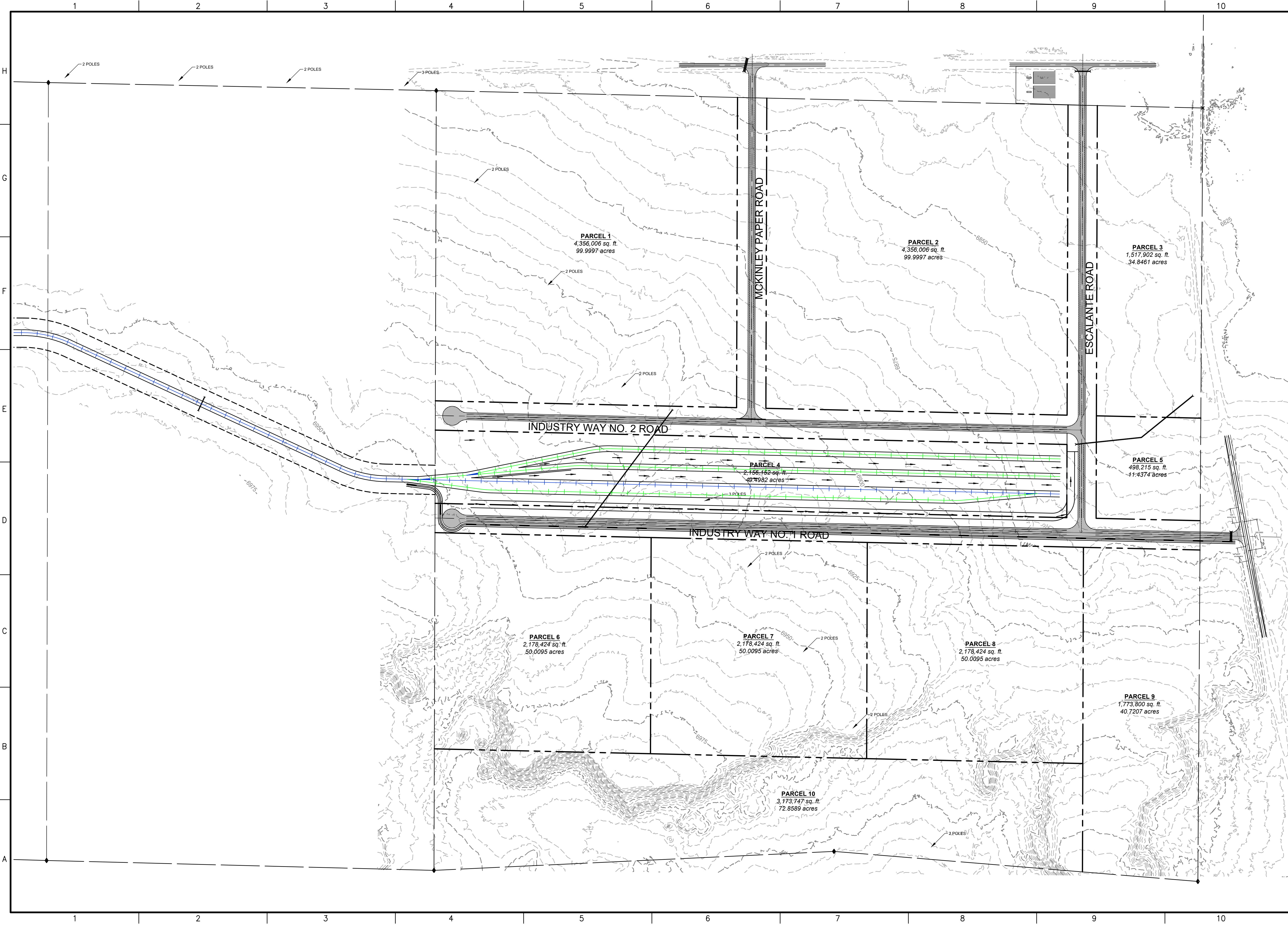
SHEET TITLE  
**COVER SHEET**

SHEET NO:  
**G-001**

NOTICE OF EXTENDED PAYMENT PROVISION  
 THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT  
 WITHIN 45 DAYS AFTER SUBMISSION OF AN UNDISPUTED  
 REQUEST FOR PAYMENT (SECTION 57-28-5 B (2) NMSA 1978).

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CONSULTANTS

SEAL

PROJECT NAME

BY

**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071

DESIGNED BY: MJI

DRAWN BY: JJC/MIT/WGC

CHECKED BY: ---

DATE: JUNE 2020

SHEET TITLE

**OVERALL SITE PLAN**

SHEET NO:

**C-100**

**WILSON & COMPANY**  
 4401 MASTHEAD ST NE SUITE 150  
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GENERAL NOTES:

1. ALL IMPROVEMENTS, UNLESS OTHERWISE MODIFIED IN THE PROJECT SPECIFICATIONS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, 2014 EDITION, EXCEPT WHERE OTHERWISE NOTED IN THE DRAWINGS. ADDITIONALLY, WHEN APPROPRIATE, CONTRACTOR SHALL COMPLY WITH "AMERICAN PUBLIC WORKS ASSOCIATION" NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST ADDITION.

2. STANDARD DRAWINGS: REFER TO STANDARD DRAWINGS FOR THE NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, LATEST EDITION UNLESS OTHERWISE NOTED. ADDITIONALLY, REFER TO 'APWA NM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST ADDITIONAL, WHERE INDICATED IN THE PLANS.

3. THE CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF PROJECT CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

4. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT THE WRITTEN APPROVAL OF THE OWNER, ENGINEER AND ALL APPROVAL SIGNATORIES. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS OR TECHNIQUES OR FOR THE PROSECUTION OF THE WORK AS SHOWN ON THESE PLANS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS.

5. UNLESS OTHERWISE PROVIDED AS PART OF THE CONSTRUCTION PLANS, A COMPLETE TRAFFIC CONTROL PLAN SHALL BE PREPARED BY THE CONTRACTOR WHEN ANY PORTION OF THE WORK IS IN THE PUBLIC RIGHT-OF-WAY OR AFFECTING ON-SITE VEHICLE OR PEDESTRIAN CIRCULATION. ALL CONSTRUCTION SIGNING, BARRICADING AND CHANNELIZATION SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION. THE PLAN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FOR ON-SITE CONSTRUCTION. TRAFFIC CONTROL WITHIN THE VILLAGE OF MILAN RIGHT-OF-WAY SHALL DEFAULT TO THE VILLAGE OF MILAN FOR APPROVAL. THE CONTRACTOR SHALL NOT IMPLEMENT THE TRAFFIC CONTROL PLAN UNTIL APPROVAL OF THE PLAN HAS BEEN RECEIVED FROM THE ENGINEER.

6. THE CONTRACTOR SHALL DESIGNATE AT LEAST ONE EMERGENCY CONTACT PERSON, AND SHALL PROVIDE TELEPHONE NUMBERS WHERE THIS PERSON CAN BE CONTACTED AT ANY TIME, INCLUDING WEEKENDS, HOLIDAYS AND AFTER HOURS. THIS INFORMATION SHALL BE PROVIDED TO THE OWNER AND THE ENGINEER. INCIDENTAL TO WORK, PER STANDARD SPECIFICATION 618.

7. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS FROM ALL JURISDICTIONAL AUTHORITIES PRIOR TO START OF CONSTRUCTION. SEE STANDARD SPECIFICATION 107.2.

8. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY, HEALTH, AND ENVIRONMENTAL PROTECTION.

9. EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

10. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING DESIGNATED STAGING AREAS FOR STORAGE OF EQUIPMENT AND MATERIAL. NO MATERIAL OR EQUIPMENT MAY BE STORED OR LEFT ON-SITE AT ANY OTHER LOCATION. THE OWNER ASSUMES NO LIABILITY FOR CONTRACTOR'S EQUIPMENT AND MATERIAL IN THE STAGING AREA. SECURITY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. IF NO STAGING AREA IS DESIGNATED ON THESE PLANS, AN OFF-SITE STAGING AREA SHALL BE PROVIDED AT THE CONTRACTOR'S EXPENSE, OR THE CONTRACTOR MAY NEGOTIATE WITH THE OWNER TO USE AN ON-SITE AREA.

11. ALL STATIONING REFERS TO APPARENT CENTERLINE OF STREET UNLESS OTHERWISE NOTED.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING, IN ADVANCE OF HIS/HER CONSTRUCTION OPERATIONS, IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE, SUPPORT AND RECONNECT THE UTILITY TO ACCOMMODATE NEW CONSTRUCTION. SEE 105.6 OF STANDARD SPECIFICATIONS.

13. NON-DESTRUCTIVE UTILITY EXPLORATION-TYPICAL TASKS BY THE CONTRACTOR LEADING TO UTILITY EXPLORATION ARE: A) SELECT AN APPROPRIATE METHOD OF GATHERING DATA THAT WILL ACHIEVE THE ACCURACIES AND PRECISION REQUIRED TO IDENTIFY THE EXACT X, Y AND Z LOCATION OF CONFLICT. VERTICAL AND HORIZONTAL SURVEY MAPPING ACCURACY SHALL ADHERE TO THE DESIGN SURVEY CONTROL.

B) WHEN EXCAVATING TEST HOLES EXPOSING THE UTILITY TO BE MEASURED, IT SHALL BE EXECUTED IN SUCH A MANNER THAT IT PROTECTS THE INTEGRITY OF THE UTILITY TO BE MEASURED. EXPOSURE IS TYPICALLY PERFORMED VIA MINIMALLY INTRUSIVE EXCAVATION.

C) NON-DESTRUCTIVE UTILITY EXPLORATION SHALL BE DONE A MINIMUM OF ONE WEEK IN ADVANCE OF PROJECT SCHEDULE DELAY.

D) COMPLY WITH APPLICABLE UTILITY DAMAGE PREVENTION LAWS, PERMITS, AND SPECIFICATIONS, AND COORDINATE WITH UTILITY AND OTHER INSPECTORS, AS REQUIRED.

E) DETERMINE (a) THE HORIZONTAL AND VERTICAL LOCATION OF THE TOP AND/OR BOTTOM OF THE UTILITY REFERENCED TO THE PROJECT SURVEY DATUM; (b) THE ELEVATION OF THE EXISTING GRADE OVER THE UTILITY AT A TEST HOLE REFERENCED TO THE PROJECT SURVEY DATUM; (c) THE OUTSIDE DIAMETER OF THE UTILITY AND CONFIGURATION OF NON-ENCASED, MULTI-CONDUIT SYSTEMS; (d) THE UTILITY STRUCTURE MATERIAL COMPOSITION, WHEN REASONABLY ASCERTAINABLE; (e) THE BENCHMARKS AND /OR PROJECT SURVEY DATA USED TO DETERMINE ELEVATIONS; (f) THE PAVING THICKNESS AND TYPE, WHERE APPLICABLE; (g) THE GENERAL SOIL TYPE AND SITE CONDITIONS; AND (h) SUCH OTHER PERTINENT INFORMATION AS IS REASONABLY ASCERTAINABLE FROM EACH TEST HOLE SITE.

14. UTILITY ALLOWANCE: UTILITY ALLOWANCE IS INCLUDED AS NECESSARY, SEE BID BOOK FOR SPECIFIC AMOUNT. UTILITY ALLOWANCE IS INTENDED TO COVER THAT WORK WHICH IS NOT KNOWN DUE TO COVERED AND UNFORESEEN UNDERGROUND UTILITY CONFLICTS. CONTRACTOR SHALL BE REQUIRED TO PROVIDE A DETAILED SCOPE OF WORK AND COST FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING. PROVISIONS OF ALLOWANCE DOES NOT GUARANTEE FULL AMOUNT TO CONTRACTOR. ONLY THAT PORTION OF MONEY USED FOR INTENDED PURPOSES WILL BE EXPENDED.

15. AS-BUILTS: CONTRACTOR SHALL DELIVER FINAL CERTIFIED AS-BUILTS IN HARD COPY AND ACAD R2005 OR BETTER. AS-BUILTS SHALL BE SUBMITTED WITH SUBSTANTIAL COMPLETION PAY APPLICATION. NO PAYMENT WILL BE MADE WITHOUT AS-BUILT SUBMITTAL. THE WORK IS INCIDENTAL TO CONSTRUCTION STAKING

16. NOTICE OF EXTENDED PAYMENT: THIS CONTRACT ALLOWS THE OWNER TO MAKE A PAYMENT WITHIN 45 DAY AFTER A SUBMISSION OF AN UNDISPUTED REQUEST FOR PAYMENT. PER NEW MEXICO STATUTES ANNOTATED 13-1-158. PAYMENTS AND PURCHASES.

ROADS:

1. ALL UNDERGROUND UTILITIES SHALL BE INSTALLED PRIOR TO SURFACING OF THE STREETS. ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TELEVISION AND SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISH GRADE.

2. ALL PERMANENT SIGNS, BARRICADES, CHANNELIZATION DEVICES, PAVEMENT MARKINGS, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION.

3. ALL STREET STRIPING ALTERED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR TO MATCH THE ORIGINAL CONDITIONS (I.E. TYPE, SPACING) AT THE LOCATION PRIOR TO CONSTRUCTION, OR AS SHOWN IN THIS PLAN SET.

4. STREET GRADES SHALL BE RESTORED BY THE CONTRACTOR TO THE EXISTING GRADES UNLESS OTHERWISE DIRECTED BY THE ENGINEER. SMOOTH TRANSITIONS SHALL BE MADE BETWEEN EXISTING PAVEMENT WHICH REMAINS IN PLACE AND PAVEMENT WHICH IS REPLACED. WHEN ABUTTING NEW PAVEMENT TO EXISTING, SAWCUT BACK EXISTING PAVEMENT TO A NEAT, STRAIGHT LINE AS REQUIRED TO REMOVE ANY BROKEN OR CRACKED PAVEMENT.

5. A STREET CUT PERMIT MUST BE ACQUIRED FROM THE VILLAGE OF MILAN.

6. ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BY A LICENSED CONTRACTOR AND REQUIRES PERMIT AND APPROVAL BY THE VILLAGE OF MILAN.

7. ALL SAW-CUTTING WILL BE CONSIDERED INCIDENTAL TO DEMOLITION.

UTILITIES-GENERAL NOTE:

1. IF ANY UTILITY LINES, PIPELINES OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS. THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERETO, AND ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF OR DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

2. THE CONTRACTOR SHALL NOTIFY NEW MEXICO ONE CALL AT 1-800-321-2537 AT LEAST TWO WORKING DAYS PRIOR TO STARTING WORK ON THIS PROJECT.

3. SEWER/WATER LINES SHALL BE PLACED IN SEPARATE TRENCHES SEPARATED HORIZONTALLY AS INDICATED IN 'PROPOSED TYPICAL ROADWAY SECTION' DETAIL ON SHEET G-004 AND ON CONSTRUCTION DRAWINGS. AT ALL CROSSINGS OF WATER AND SEWER LINES, THE WATER LINE SHALL BE PLACED A MINIMUM OF 1 FEET HIGHER IN ELEVATION THAN THE SEWER, OTHERWISE THE SANITARY SEWER LINE SHALL BE ENCASED IN 6 INCH THICK CONCRETE FOR AT LEAST 10 FEET ON EACH SIDE OF THE WATERLINE OR THE SEWER LINE SHALL BE C-900 PRESSURIZED PIPE.

4. SEWER & WATER LINE DISTANCES SHOWN IN PLANS ARE HORIZONTAL DISTANCES WITHOUT REGARD TO SLOPE OF PIPE OR PROJECT STATIONING.

5. "SANITARY" CAST ON COVER TO IDENTIFY SANITARY SEWER AND LETTERING SHALL BE MCKINLEY COUNTY.

WATER:

1. CONTRACTOR WILL NOTIFY MCKINLEY COUNTY 5 WORKING DAYS PRIOR TO COMMENCEMENT OF WORK.

2. CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH APWA NM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2006 EDITION.

3. ALL EASEMENTS WILL BE DEDICATED, CLEARED AND GRADED, AND STAKED PRIOR TO WATER LINE INSTALLATION.

4. ALL STREETS WILL BE CUT TO GRADE PRIOR TO WATER LINE INSTALLATION.

5. ALL LOT CORNERS WILL BE STAKED PRIOR TO SERVICE LINE INSTALLATION. CURB AND GUTTER WILL BE INSTALLED PRIOR TO WATER LINE INSTALLATION.

6. MATERIAL SUBMITTALS SHALL BE APPROVED BY ENGINEER PRIOR TO CONSTRUCTION.

7. PRESSURE REGULATORS WILL BE INSTALLED ON ALL SERVICES DOWNSTREAM FROM THE METER.

8. PRESSURE REGULATOR AND PRESSURE SYSTEMS MUST BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.

9. A MINIMUM OF 3 FEET COVER TO TOP OF PIPE TO BE MAINTAINED.

10. CONTRACTOR TO SUBMIT VALVE TIES TO ENGINEER WITHIN 5 WORKING DAYS OF COMPLETION.

11. CONTRACTOR TO SUBMIT FITTING TIES AND LENGTHS BETWEEN FITTINGS TO ENGINEER 5 WORKING DAYS AFTER COMPLETION. THIS INCLUDES DISTANCES FROM CORPORATION TO CORPORATION. AS-BUILT QUANTITIES AND MEASUREMENTS SHALL BE LEGIBLE AND PROVIDED ON ENGINEER DRAWINGS OR OTHER AGREED UPON METHOD.

12. ALL VALVE BOXES TO BE BROUGHT UP TO GRADE AFTER FIRST COURSE OF ASPHALT AND BEFORE FINAL COURSE OF ASPHALT.

13. A MECHANICAL RESTRAINT SYSTEM SHALL BE UTILIZED ON FITTINGS AND PIPING FOR THRUST RESTRAINT. CONCRETE THRUST BLOCKING TO BE USED ONLY FOR SPECIAL CONDITIONS (e.g. CAPS WHERE MAIN WILL BE EXTENDED IN THE FUTURE).

14. ANY FIELD CHANGES TO THESE PLANS REQUIRES APPROVAL OF THE DESIGN ENGINEER. ALL CHANGE ORDERS WILL BE APPROVED BY THE FUNDING AGENCY (LOCAL GOVERNMENT DIVISION, DFA) BEFORE TAKING EFFECT.

SEWER:

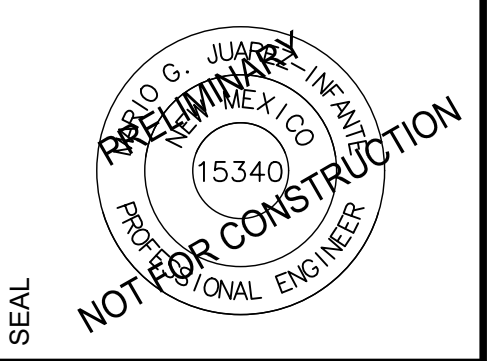
1. SEWER SERVICE LATERAL LOCATIONS ARE SHOWN GRAPHICALLY. CONTRACTOR IS RESPONSIBLE FOR LOCATING "AS-BUILT" UTILITY DRAWINGS.

2. 30 DAYS FOLLOWING INSTALLATION AND BACKFILL OF SEWER LINES, A DEFLECTION TEST USING A HAND PULLED MANDREL SHALL BE PERFORMED IN THE PRESENCE OF THE INSPECTOR.

3. AIR TESTING OF SEWER LINES SHALL BE CONDUCTED IN THE PRESENCE OF THE ENGINEER OR HIS REPRESENTATIVE.

WILSON & COMPANY logo and contact information: 4401 MASTHEAD ST NE SUITE 150 ALBUQUERQUE, NM 87109 PHONE: 505-348-4000 FAX: 505-348-4155 FIRST FLOOR SECOND FLOOR www.wilsonco.com

CONSULTANTS



PROJECT NAME: PREWITT INDUSTRIAL PARK

Table with 4 columns: REV., DATE, DESCRIPTION, BY. Contains revision history entries.

PROJECT NO: 19-600-071
DESIGNED BY: MJJ
DRAWN BY: JJC/MIT/WGC
CHECKED BY: ---
DATE: JUNE 2020

SHEET TITLE: GENERAL NOTES

SHEET NO: C-101

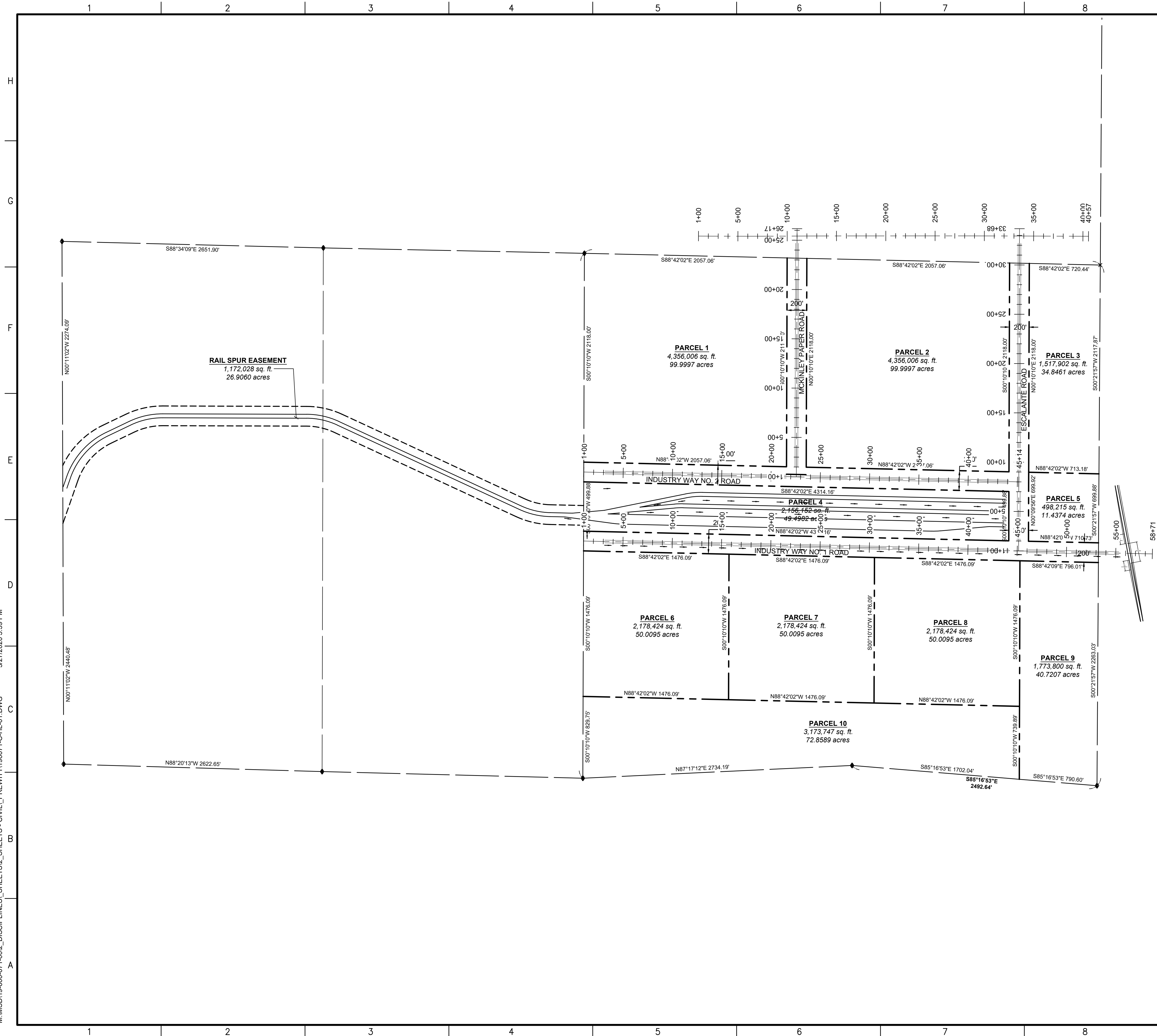
Table with 4 columns: UTILITY COMPANY, CONTACT NAME, PHONE NUMBER, UTILITY SERVICE. Lists utility providers like Continental Divide Electric, New Mexico Gas Company, Comcast, and Century Link (QWEST).

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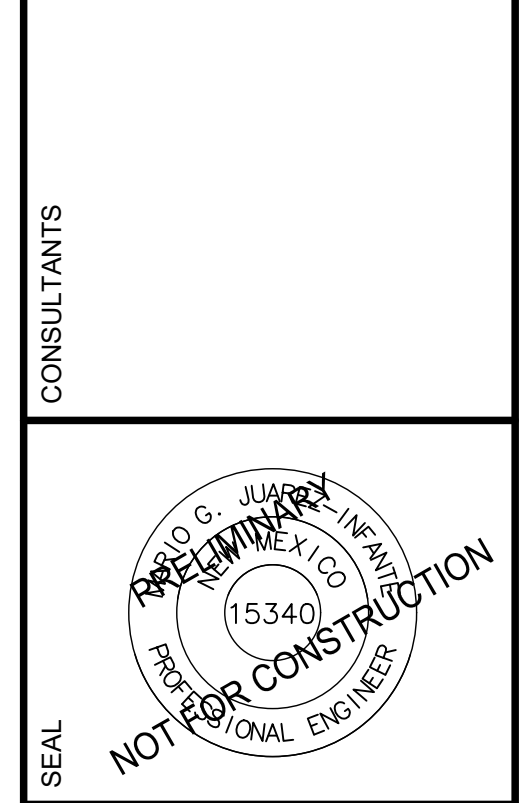
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**GENERAL NOTES**

- ALL HORIZONTAL COORDINATES SHOWN ON THIS SHEET ARE BASED UPON NAD83/NAVD88 NEW MEXICO STATE PLANE WEST ZONE

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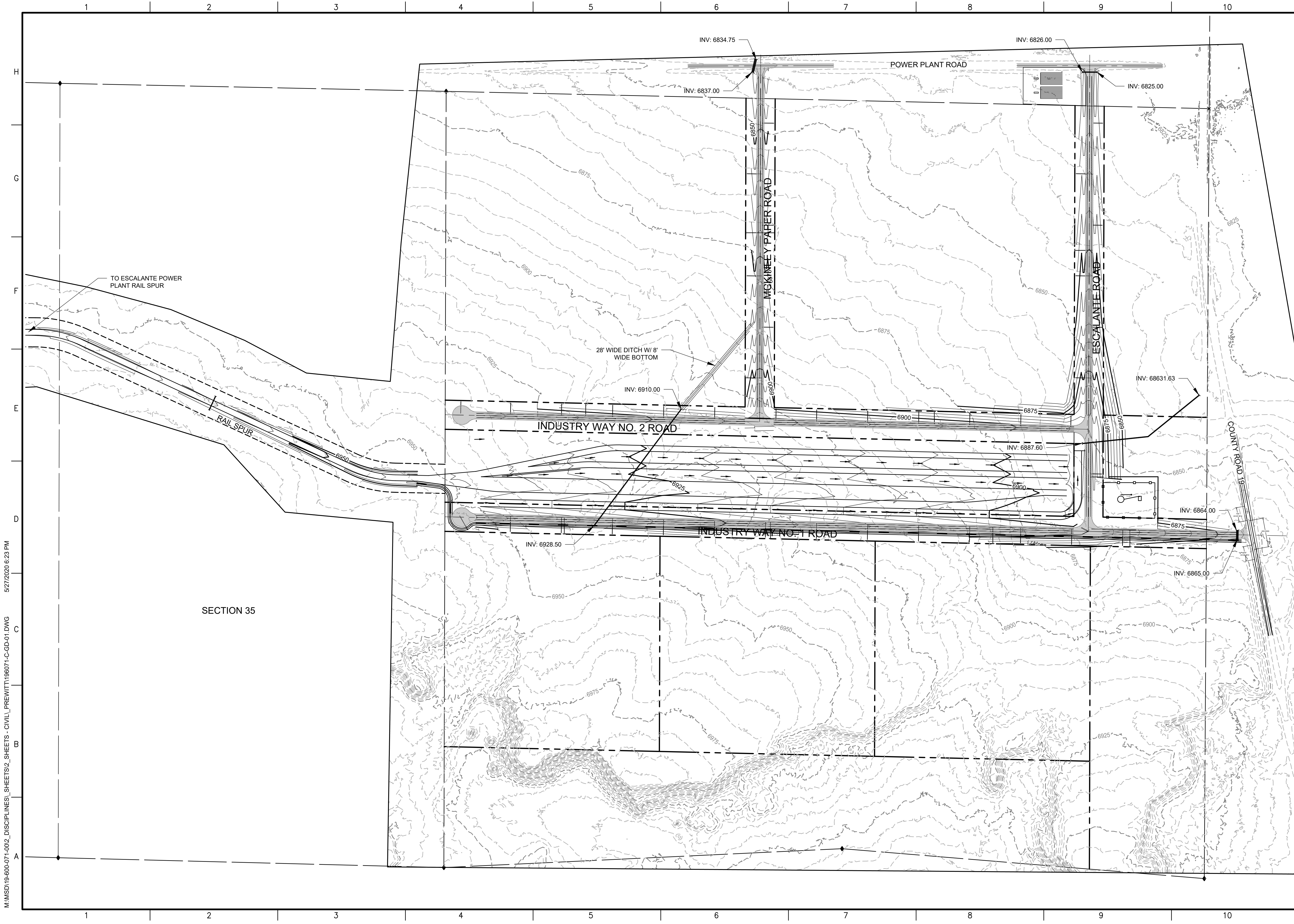
PROJECT NAME  
**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
 DESIGNED BY: MJI  
 DRAWN BY: JJC/MIT/WGC  
 CHECKED BY: ---  
 DATE: JUNE 2020

SHEET TITLE  
**HORIZONTAL LAYOUT**

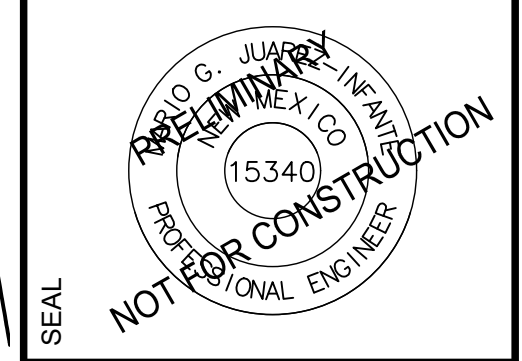
SHEET NO:  
**C-103**



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**WILSON & COMPANY**  
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CONSULTANTS



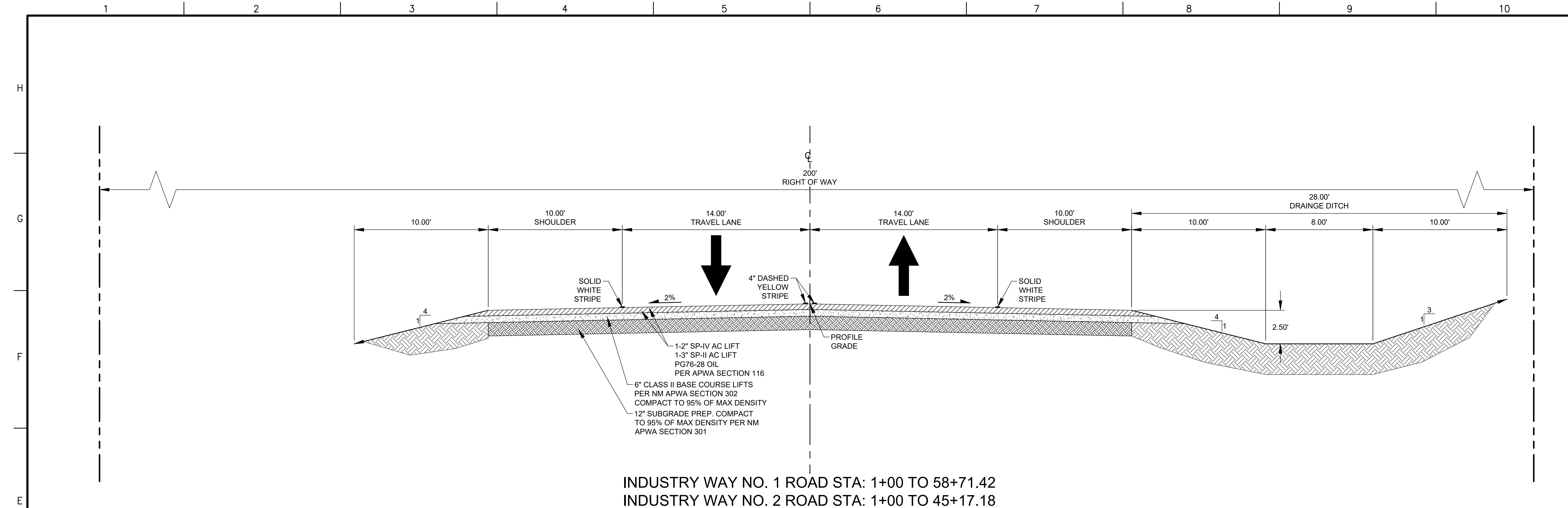
PROJECT NAME  
**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
 DESIGNED BY: MJI  
 DRAWN BY: JJC/MIT/WGC  
 CHECKED BY: ---  
 DATE: JUNE 2020

SHEET TITLE  
**OVERALL GRADING PLAN**

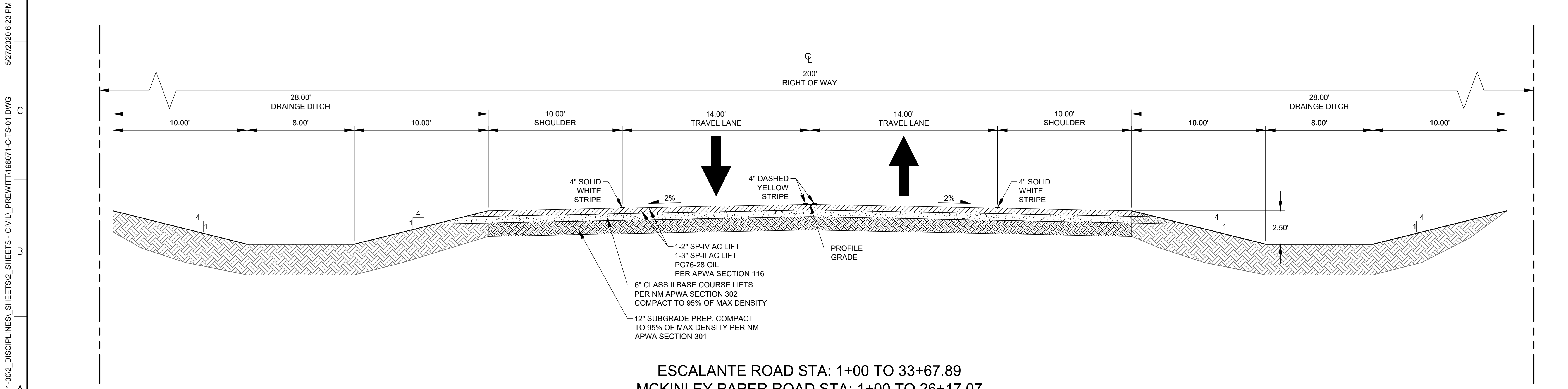
SHEET NO:  
**C-104**



INDUSTRY WAY NO. 1 ROAD STA: 1+00 TO 58+71.42  
 INDUSTRY WAY NO. 2 ROAD STA: 1+00 TO 45+17.18

**E1** PREWITT INDUSTRIAL STREET TYPICAL SECTION

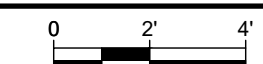
SCALE: 1" = 4'  
 NOTE: ALL TRAFFIC PAINT SHALL COMPLY WITH NM APWA SECTION 157.



ESCALANTE ROAD STA: 1+00 TO 33+67.89  
 MCKINLEY PAPER ROAD STA: 1+00 TO 26+17.07

**A1** PREWITT INDUSTRIAL STREET TYPICAL SECTION

SCALE: 1" = 4'  
 NOTE: ALL TRAFFIC PAINT SHALL COMPLY WITH NM APWA SECTION 157.



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CONSULTANTS

SEAL

NOT FOR CONSTRUCTION

15340

PROFESSIONAL ENGINEER

PROJECT NAME

**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
 DESIGNED BY: MJJ  
 DRAWN BY: JJC/MIT/WGC  
 CHECKED BY: ---  
 DATE: JUNE 2020

SHEET TITLE

**PROPOSED ROADWAY TYPICAL SECTION**

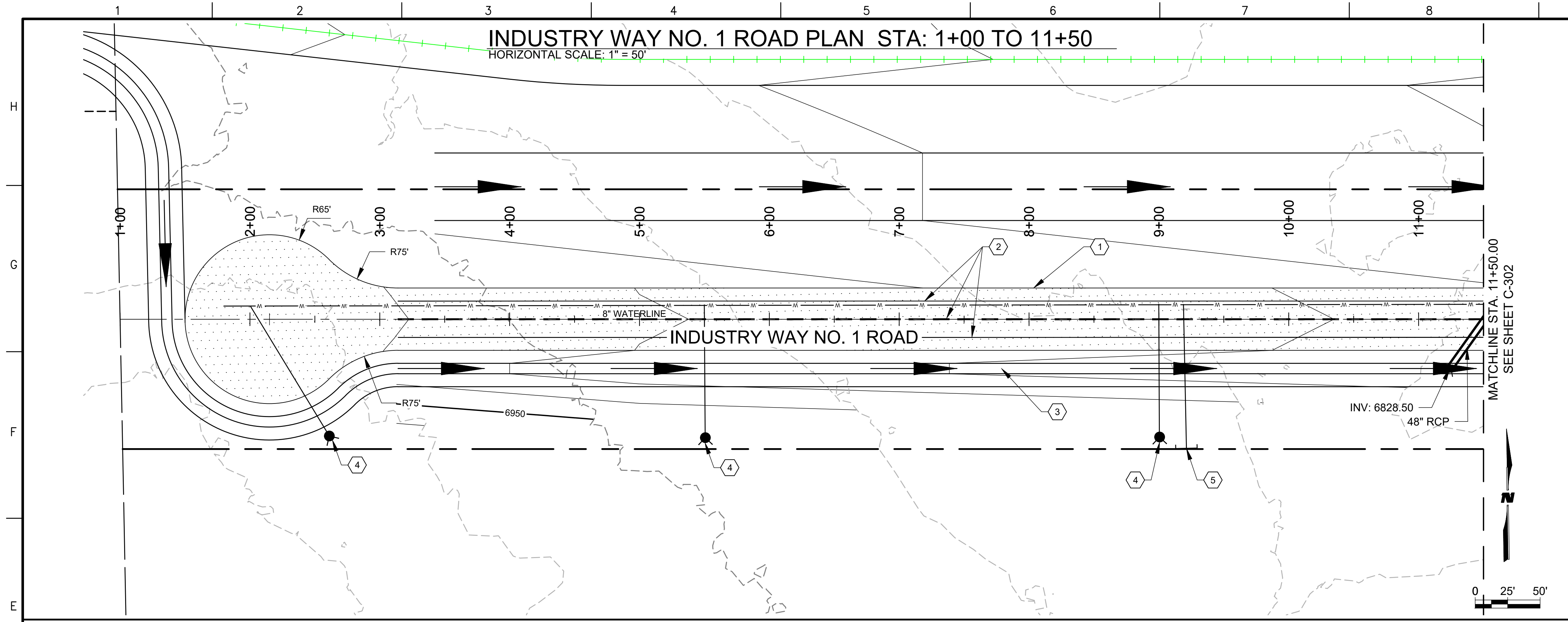
SHEET NO:

**C-300**

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**INDUSTRY WAY NO. 1 ROAD PLAN STA: 1+00 TO 11+50**

HORIZONTAL SCALE: 1" = 50'



**GENERAL NOTES**

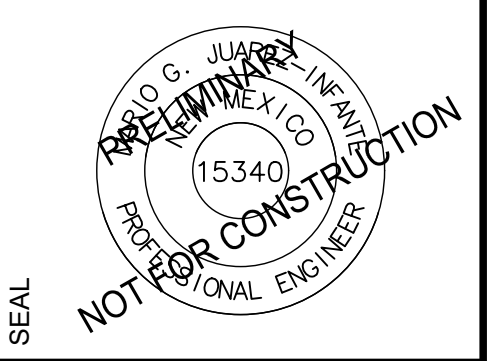
1. SEE SHEET C-300 FOR TYPICAL SECTION.
2. ALL STATIONING REFERS TO APPARENT CENTERLINE OF STREET UNLESS OTHERWISE NOTED.
3. ALL ELEVATIONS ARE AT PROFILE GRADE UNLESS OTHERWISE NOTED.

**KEYNOTES**

1. BUILD ASPHALT CONCRETE PER TYPICAL SECTIONS, SEE SHEETS C-300.
2. 4" SOLID WHITE RETROREFLECTORIZED PAINTED PAVEMENT MARKING AND 4" DASHED YELLOW STRIPE PER TYPICAL SECTION.
3. BUILD SWALE PER TYPICAL SECTION C-300
4. CONSTRUCT TYPICAL FIRE HYDRANT PER DETAIL A1 & A6 SHEET C-504
5. CONSTRUCT TYPICAL WATER SERVICE PER DETAIL A1, A6, E1 & E6 SHEET C-505.

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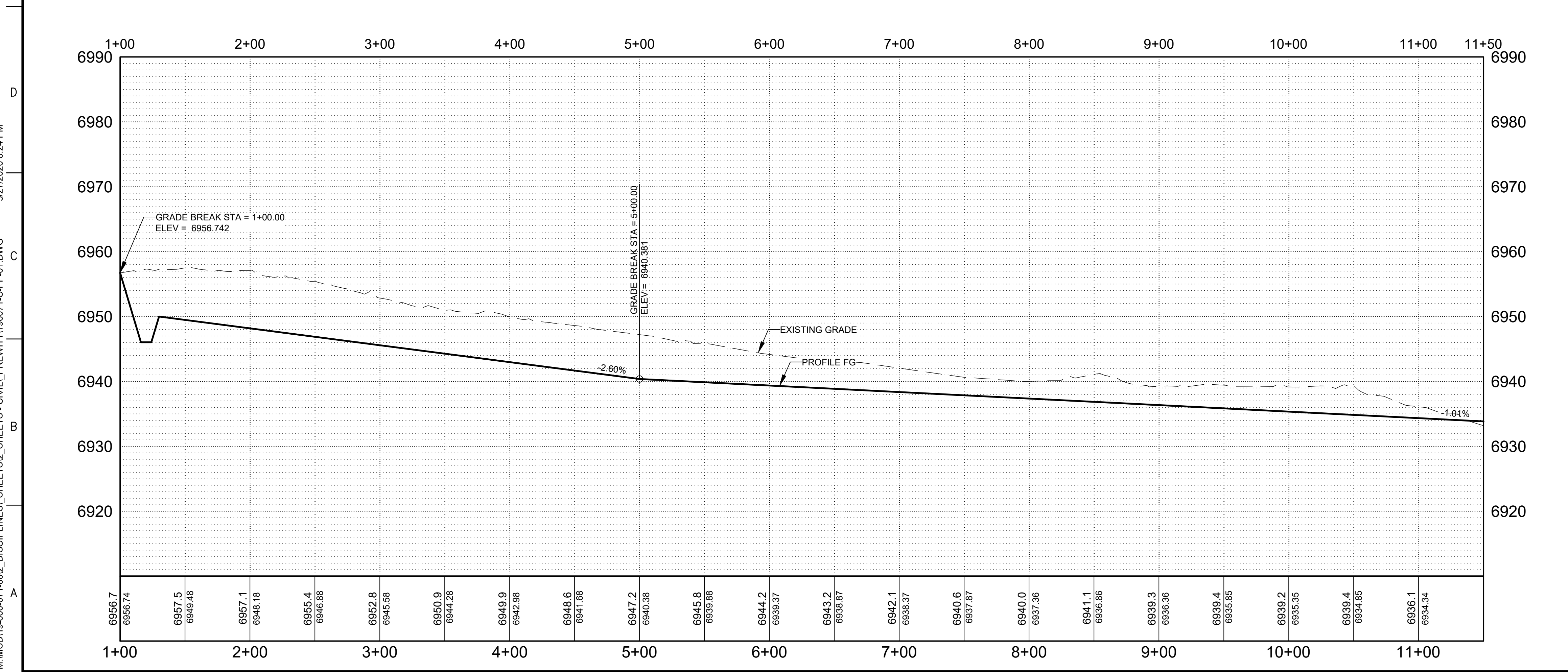
CONSULTANTS



PROJECT NAME  
**PREWITT INDUSTRIAL PARK**

**INDUSTRY WAY NO. 1 ROAD PROFILE STA: 1+00 TO 11+50**

HORIZONTAL SCALE: 1" = 10'



**LEGEND**

- ASPHALT
- WATERLINE

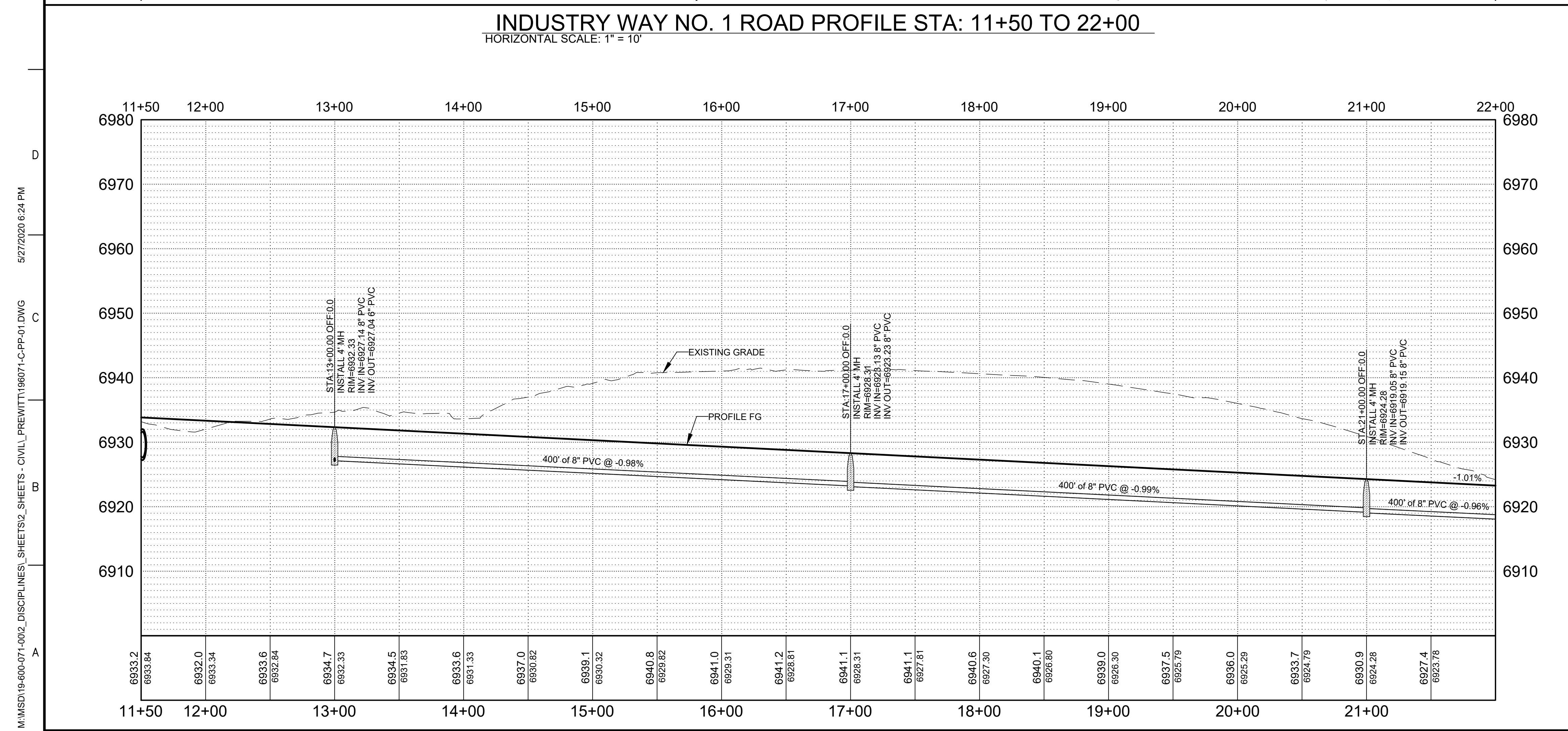
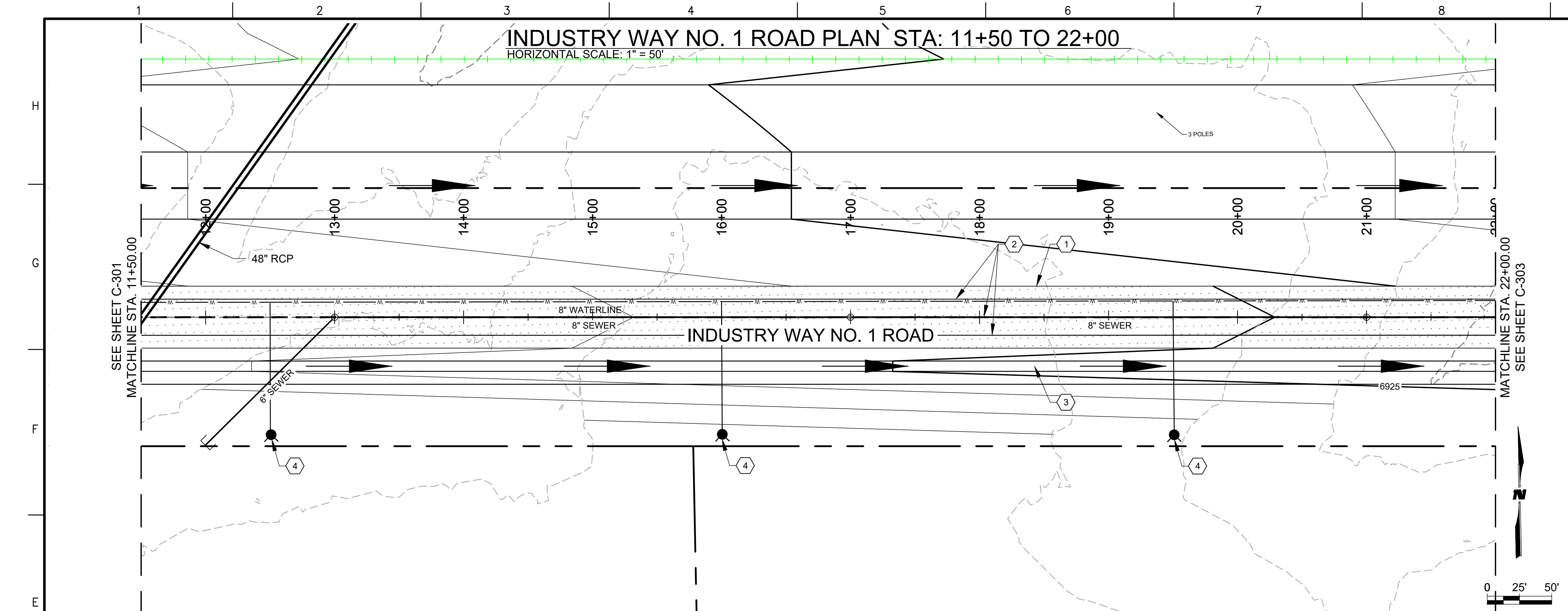
REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
 DESIGNED BY: MJJ  
 DRAWN BY: JJC/MIT/WGC  
 CHECKED BY: ---  
 DATE: JUNE 2020

SHEET TITLE  
**INDUSTRY WAY NO. 1 ROAD PLAN & PROFILE**

SHEET NO:  
**C-301**

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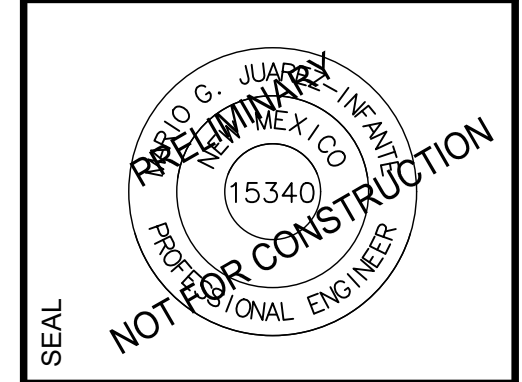


- ### GENERAL NOTES
- SEE SHEET C-300 FOR TYPICAL SECTION.
  - ALL STATIONING REFERS TO APPARENT CENTERLINE OF STREET UNLESS OTHERWISE NOTED.
  - ALL ELEVATIONS ARE AT PROFILE GRADE UNLESS OTHERWISE NOTED.

- ### KEYNOTES
- BUILD ASPHALT CONCRETE PER TYPICAL SECTIONS, SEE SHEETS C-300.
  - 4" SOLID WHITE RETROREFLECTORIZED PAINTED PAVEMENT MARKING AND 4" DASHED YELLOW STRIPE PER TYPICAL SECTION.
  - BUILD SWALE PER TYPICAL SECTION C-300
  - CONSTRUCT TYPICAL FIRE HYDRANT PER DETAIL A1 & A6 SHEET C-504
  - CONSTRUCT TYPICAL WATER SERVICE PER DETAIL A1, A6, E1 & E6 SHEET C-505.

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PROJECT NAME  
**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
 DESIGNED BY: MJJ  
 DRAWN BY: JJC/MIT/WGC  
 CHECKED BY: ---  
 DATE: JUNE 2020

### LEGEND

- ASPHALT
- WATERLINE

SHEET TITLE  
**INDUSTRY WAY NO. 1 ROAD PLAN & PROFILE**

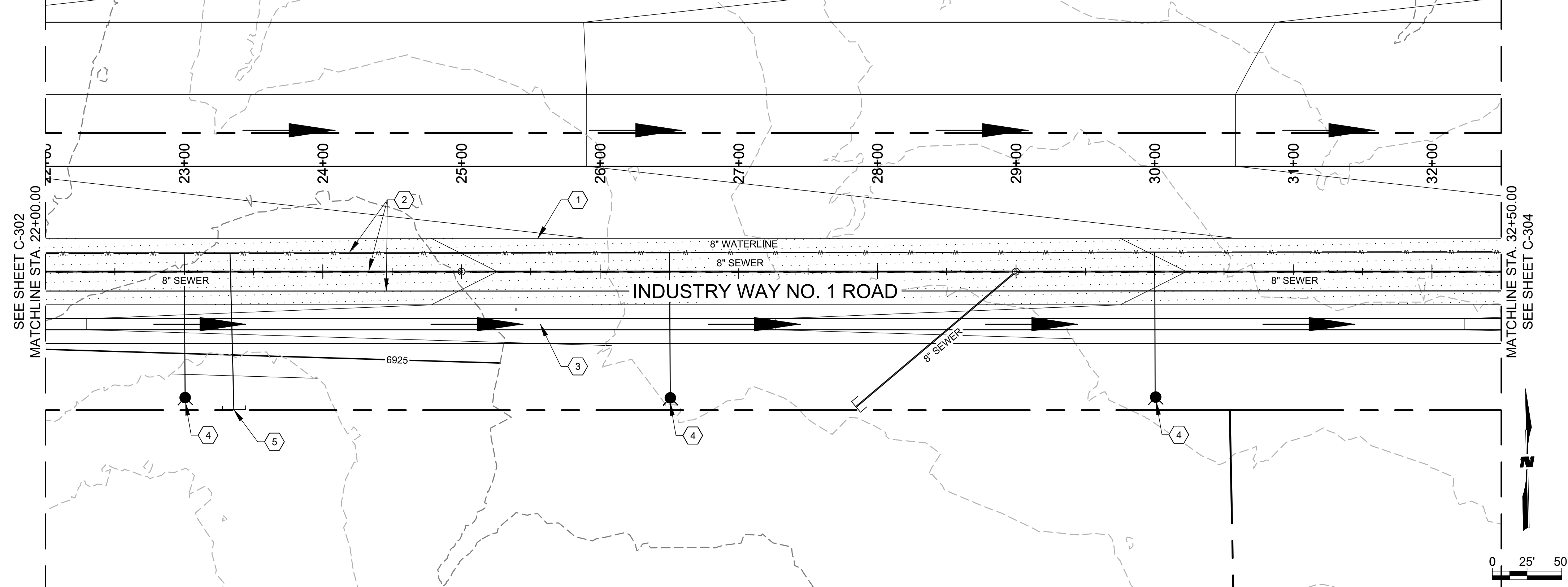
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**C-302**

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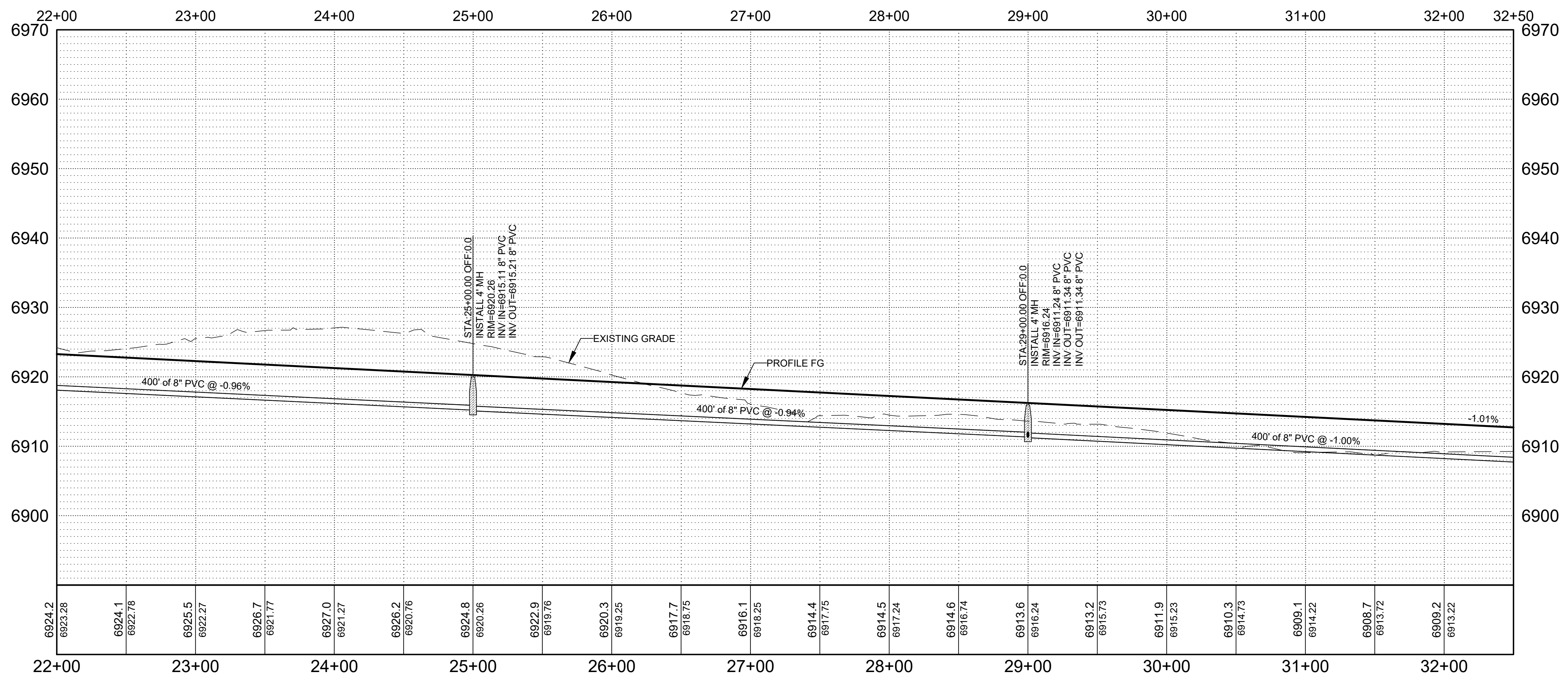
### INDUSTRY WAY NO. 1 ROAD PLAN STA: 22+00 TO 32+50

HORIZONTAL SCALE: 1" = 50'



### INDUSTRY WAY NO. 1 ROAD PROFILE STA: 22+00 TO 32+50

HORIZONTAL SCALE: 1" = 10'



#### GENERAL NOTES

- SEE SHEET C-300 FOR TYPICAL SECTION.
- ALL STATIONING REFERS TO APPARENT CENTERLINE OF STREET UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS ARE AT PROFILE GRADE UNLESS OTHERWISE NOTED.

#### KEYNOTES

- BUILD ASPHALT CONCRETE PER TYPICAL SECTIONS, SEE SHEETS C-300.
- 4" SOLID WHITE RETROREFLECTORIZED PAINTED PAVEMENT MARKING AND 4" DASHED YELLOW STRIPE PER TYPICAL SECTION.
- BUILD SWALE PER TYPICAL SECTION C-300
- CONSTRUCT TYPICAL FIRE HYDRANT PER DETAIL A1 & A6 SHEET C-504
- CONSTRUCT TYPICAL WATER SERVICE PER DETAIL A1, A6, E1 & E6 SHEET C-505.

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CONSULTANTS

SEAL

NOT FOR CONSTRUCTION

PROFESSIONAL ENGINEER

15340

PREWITT INDUSTRIAL PARK

PROJECT NAME

**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
 DESIGNED BY: MJI  
 DRAWN BY: JJC/MIT/WGC  
 CHECKED BY: ---  
 DATE: JUNE 2020

#### LEGEND

- ASPHALT
- WATERLINE

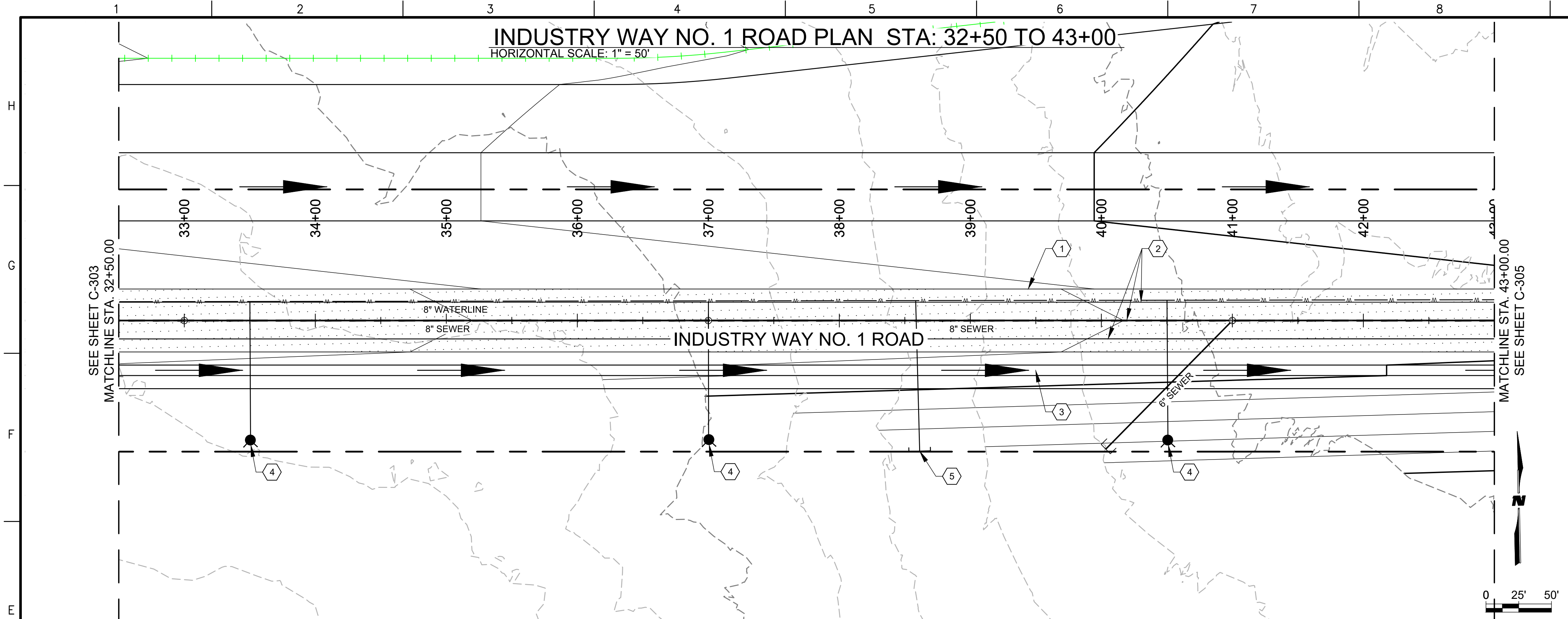
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**INDUSTRY WAY NO. 1 ROAD PLAN & PROFILE**

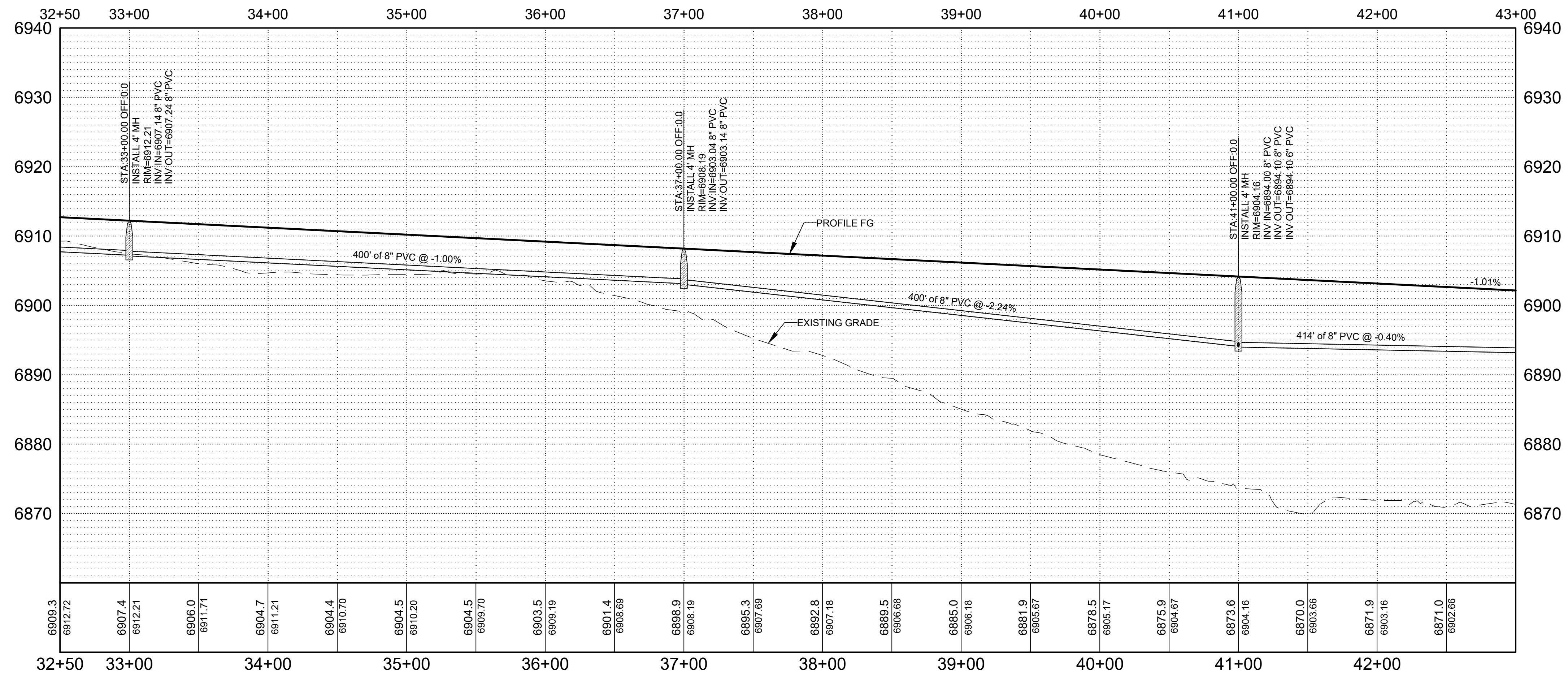
SHEET NO:

**C-303**

**INDUSTRY WAY NO. 1 ROAD PLAN STA: 32+50 TO 43+00**  
HORIZONTAL SCALE: 1" = 50'



**INDUSTRY WAY NO. 1 ROAD PROFILE STA: 32+50 TO 43+00**  
HORIZONTAL SCALE: 1" = 10'



**GENERAL NOTES**

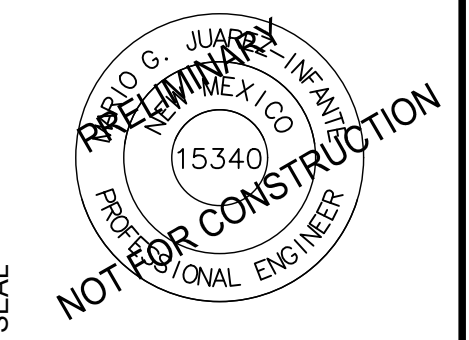
- SEE SHEET C-300 FOR TYPICAL SECTION.
- ALL STATIONING REFERS TO APPARENT CENTERLINE OF STREET UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS ARE AT PROFILE GRADE UNLESS OTHERWISE NOTED.

**KEYNOTES**

- BUILD ASPHALT CONCRETE PER TYPICAL SECTIONS, SEE SHEETS C-300.
- 4" SOLID WHITE RETROREFLECTORIZED PAINTED PAVEMENT MARKING AND 4" DASHED YELLOW STRIPE PER TYPICAL SECTION.
- BUILD SWALE PER TYPICAL SECTION C-300
- CONSTRUCT TYPICAL FIRE HYDRANT PER DETAIL A1 & A6 SHEET C-504
- CONSTRUCT TYPICAL WATER SERVICE PER DETAIL A1, A6, E1 & E6 SHEET C-505.

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PROJECT NAME

**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
DESIGNED BY: MJJ  
DRAWN BY: JJC/MIT/WGC  
CHECKED BY: ---  
DATE: JUNE 2020

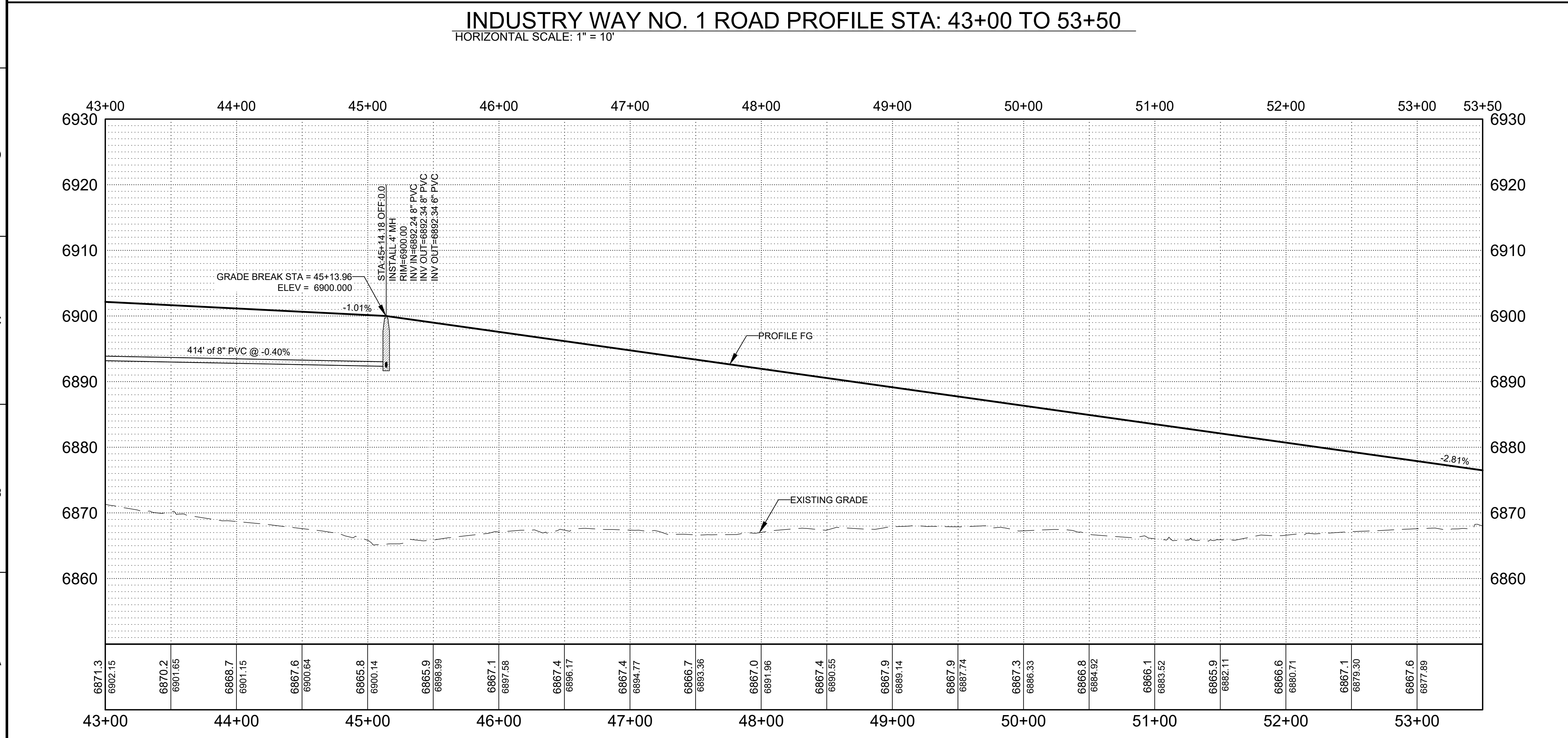
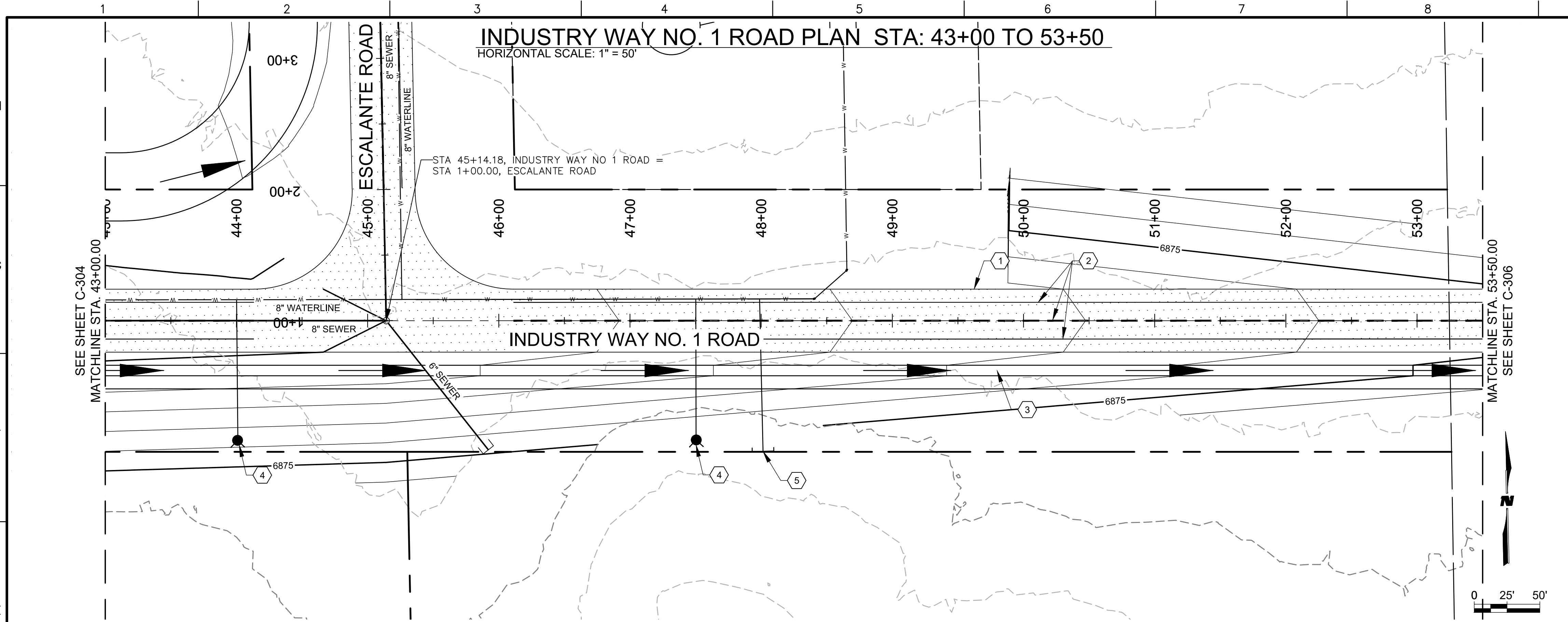
**LEGEND**

- ASPHALT
- WATERLINE

SHEET TITLE  
**INDUSTRY WAY NO. 1 ROAD PLAN & PROFILE**

SHEET NO:  
**C-304**

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**GENERAL NOTES**

- SEE SHEET C-300 FOR TYPICAL SECTION.
- ALL STATIONING REFERS TO APPARENT CENTERLINE OF STREET UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS ARE AT PROFILE GRADE UNLESS OTHERWISE NOTED.

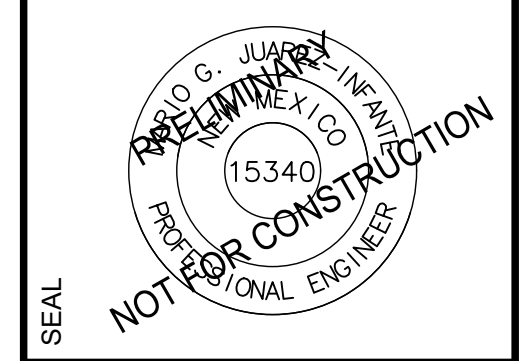
**KEYNOTES**

- BUILD ASPHALT CONCRETE PER TYPICAL SECTIONS, SEE SHEETS C-300.
- 4" SOLID WHITE RETROREFLECTORIZED PAINTED PAVEMENT MARKING AND 4" DASHED YELLOW STRIPE PER TYPICAL SECTION.
- BUILD SWALE PER TYPICAL SECTION C-300
- CONSTRUCT TYPICAL FIRE HYDRANT PER DETAIL A1 & A6 SHEET C-504
- CONSTRUCT TYPICAL WATER SERVICE PER DETAIL A1, A6, E1 & E6 SHEET C-505.

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**PROJECT NAME**

PREWITT INDUSTRIAL PARK

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
DESIGNED BY: MJJ  
DRAWN BY: JJC/MIT/WGC  
CHECKED BY: ---  
DATE: JUNE 2020

**LEGEND**

ASPHALT

WATERLINE

**SHEET TITLE**

INDUSTRY WAY NO. 1  
ROAD PLAN & PROFILE

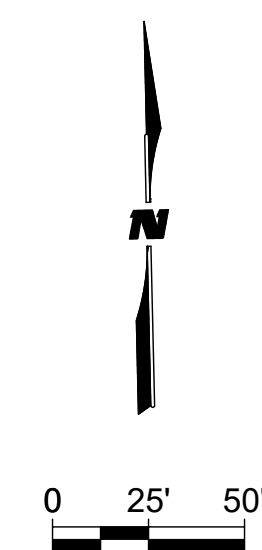
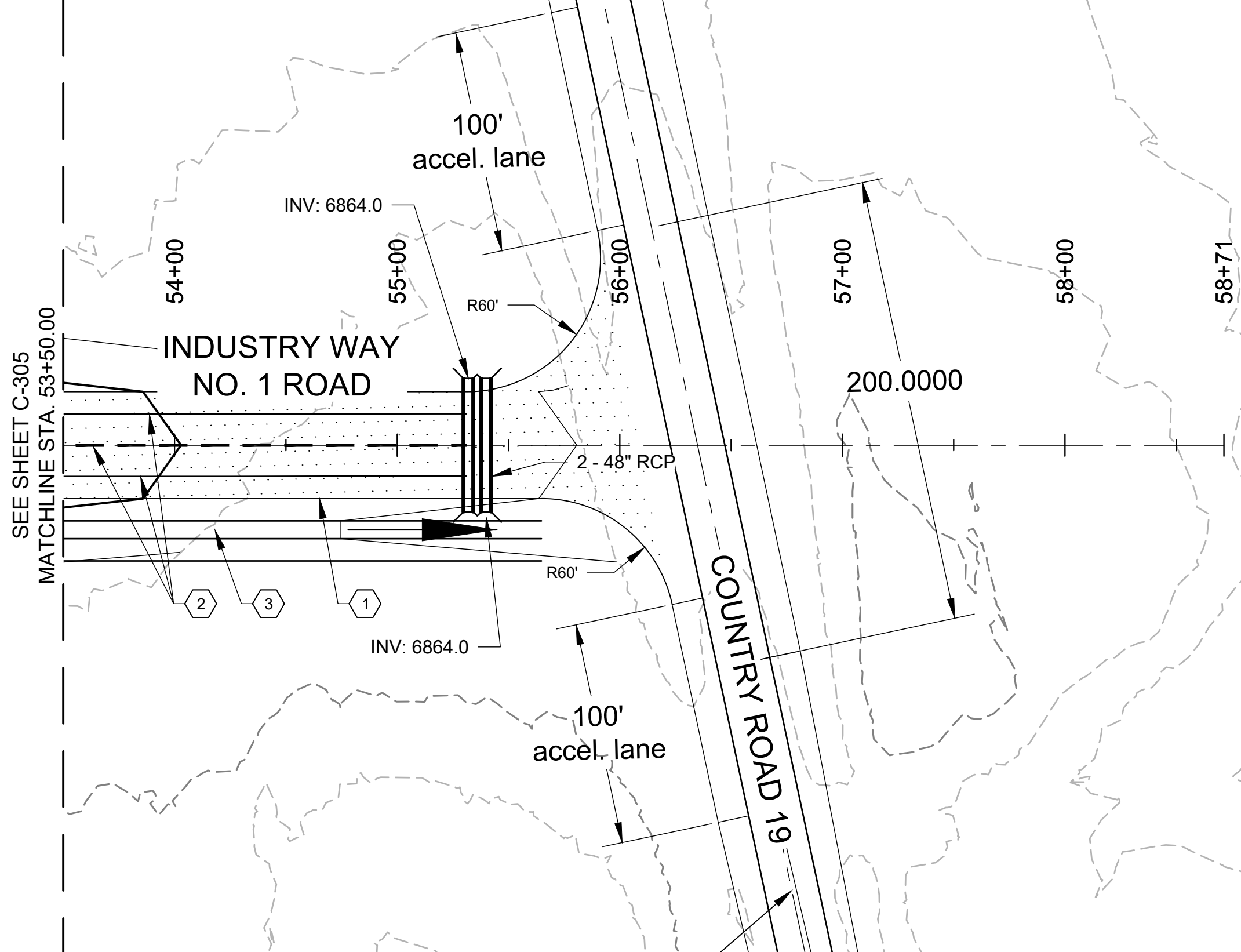
**SHEET NO:**

C-305



**INDUSTRY WAY NO. 1 ROAD PLAN STA: 53+50 TO 56+20**

HORIZONTAL SCALE: 1" = 50'



**GENERAL NOTES**

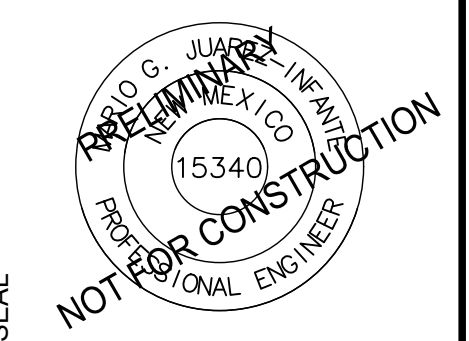
- SEE SHEET C-300 FOR TYPICAL SECTION.
- ALL STATIONING REFERS TO APPARENT CENTERLINE OF STREET UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS ARE AT PROFILE GRADE UNLESS OTHERWISE NOTED.

**KEYNOTES**

- BUILD ASPHALT CONCRETE PER TYPICAL SECTIONS, SEE SHEETS C-300.
- 4" SOLID WHITE RETROREFLECTORIZED PAINTED PAVEMENT MARKING AND 4" DASHED YELLOW STRIPE PER TYPICAL SECTION.
- BUILD SWALE PER TYPICAL SECTION C-300
- CONSTRUCT TYPICAL FIRE HYDRANT PER DETAIL A1 & A6 SHEET C-504
- CONSTRUCT TYPICAL WATER SERVICE PER DETAIL A1, A6, E1 & E6 SHEET C-505.

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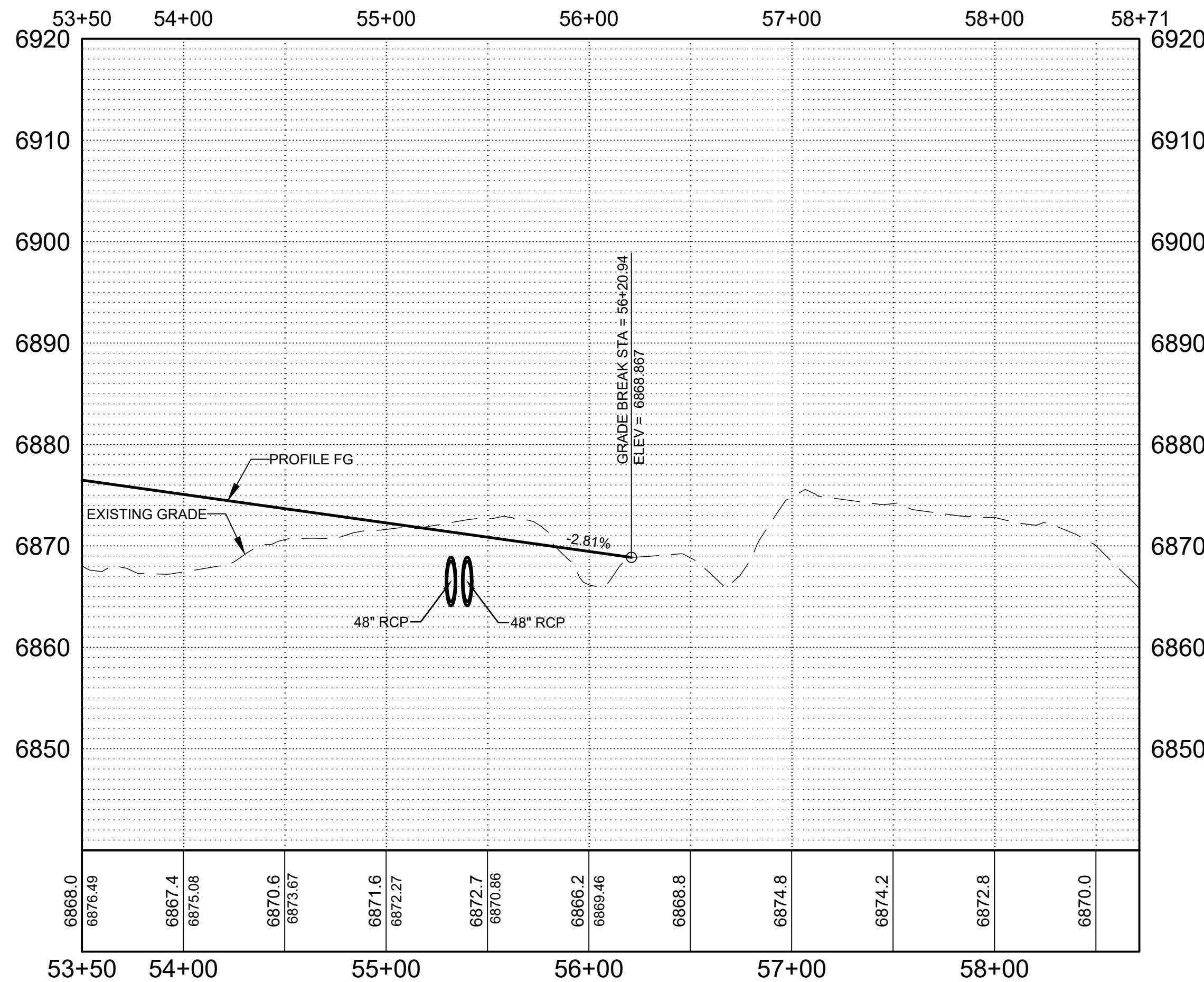
CONSULTANTS



PROJECT NAME  
**PREWITT INDUSTRIAL PARK**

**INDUSTRY WAY NO. 1 ROAD PROFILE STA: 53+50 TO 56+20**

HORIZONTAL SCALE: 1" = 10'



**LEGEND**

- ASPHALT
- WATERLINE

REV.	DATE	DESCRIPTION	BY

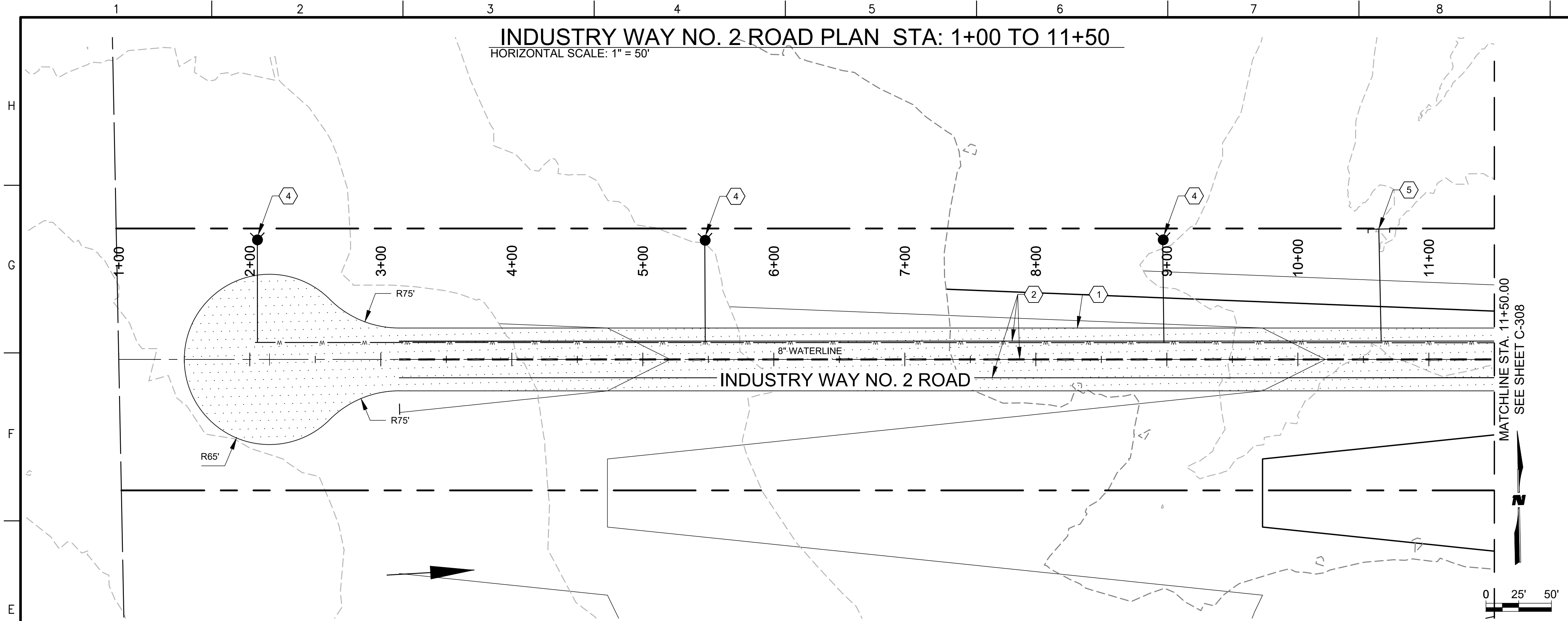
PROJECT NO: 19-600-071  
 DESIGNED BY: MJI  
 DRAWN BY: JJC/MIT/WGC  
 CHECKED BY: ---  
 DATE: JUNE 2020

SHEET TITLE  
**INDUSTRY WAY NO. 1  
 ROAD PLAN & PROFILE**

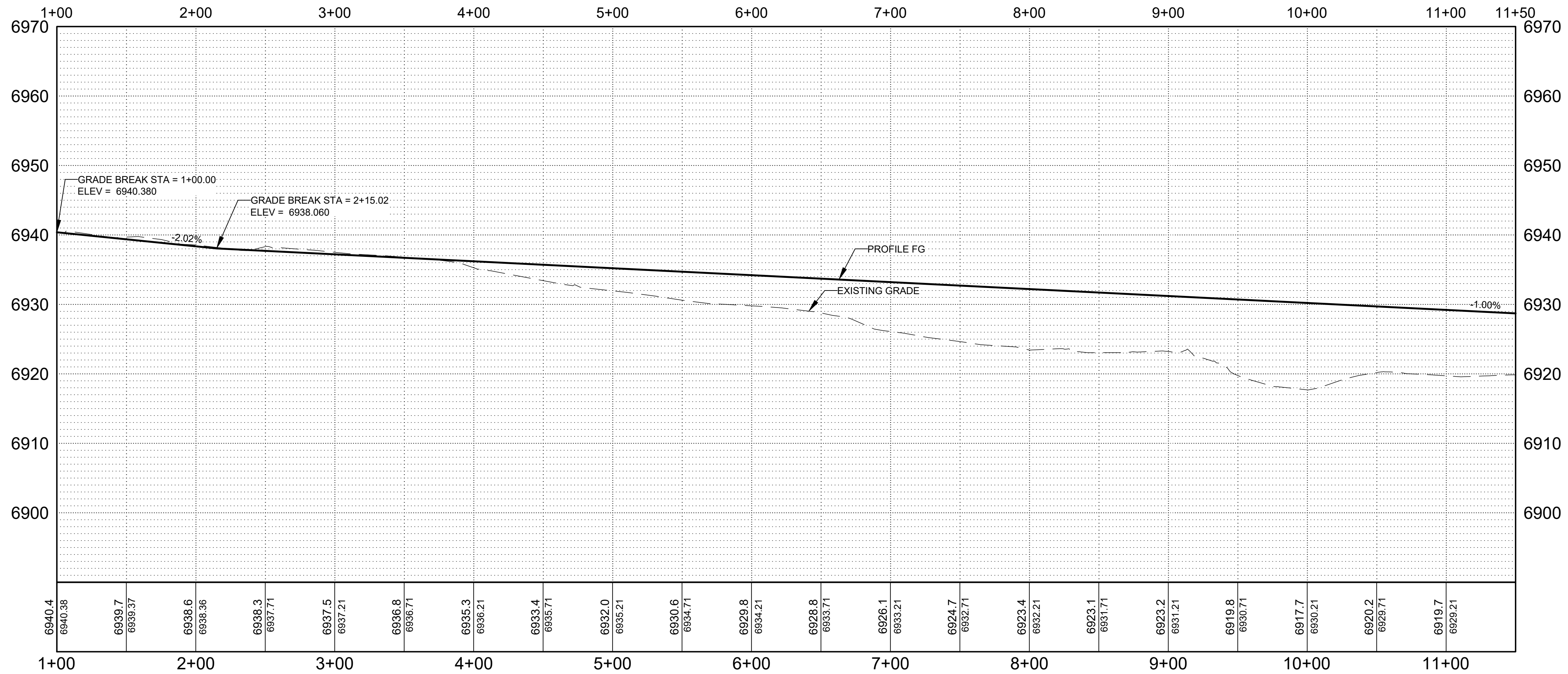
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**C-306**

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**INDUSTRY WAY NO. 2 ROAD PLAN STA: 1+00 TO 11+50**  
 HORIZONTAL SCALE: 1" = 50'



**INDUSTRY WAY NO. 2 ROAD PROFILE STA: 1+00 TO 11+50**  
 HORIZONTAL SCALE: 1" = 10'



**GENERAL NOTES**

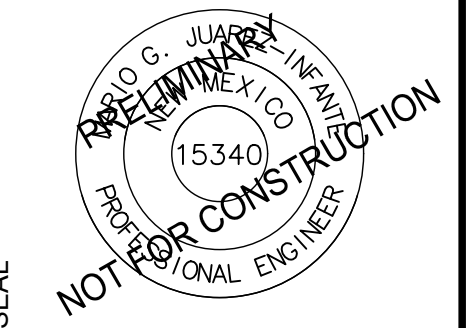
- SEE SHEET C-300 FOR TYPICAL SECTION.
- ALL STATIONING REFERS TO APPARENT CENTERLINE OF STREET UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS ARE AT PROFILE GRADE UNLESS OTHERWISE NOTED.

**KEYNOTES**

- BUILD ASPHALT CONCRETE PER TYPICAL SECTIONS, SEE SHEETS C-300.
- 4" SOLID WHITE RETROREFLECTORIZED PAINTED PAVEMENT MARKING AND 4" DASHED YELLOW STRIPE PER TYPICAL SECTION.
- BUILD SWALE PER TYPICAL SECTION C-300
- CONSTRUCT TYPICAL FIRE HYDRANT PER DETAIL A1 & A6 SHEET C-504
- CONSTRUCT TYPICAL WATER SERVICE PER DETAIL A1, A6, E1 & E6 SHEET C-505.

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CONSULTANTS



PROJECT NAME  
**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
 DESIGNED BY: MJJ  
 DRAWN BY: JJC/MIT/WGC  
 CHECKED BY: ---  
 DATE: JUNE 2020

**LEGEND**

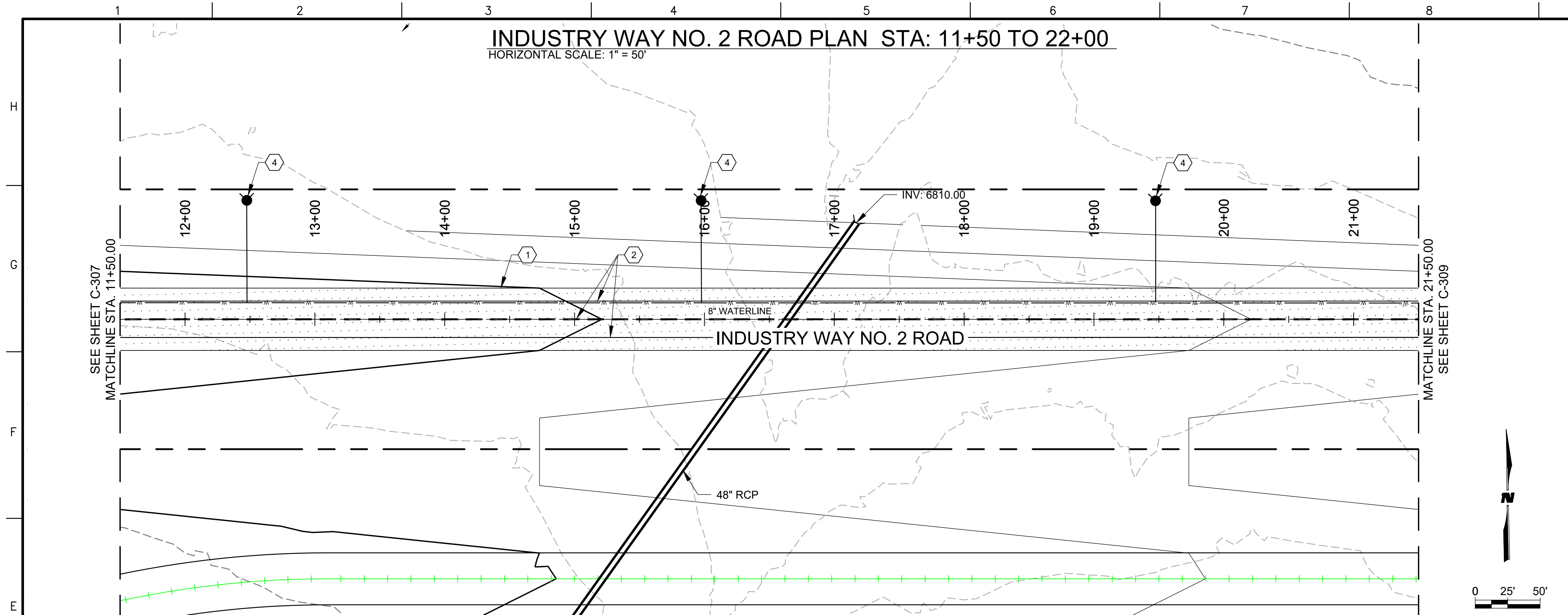
- ASPHALT
- WATERLINE

SHEET TITLE  
**INDUSTRY WAY NO. 2 ROAD PLAN & PROFILE**

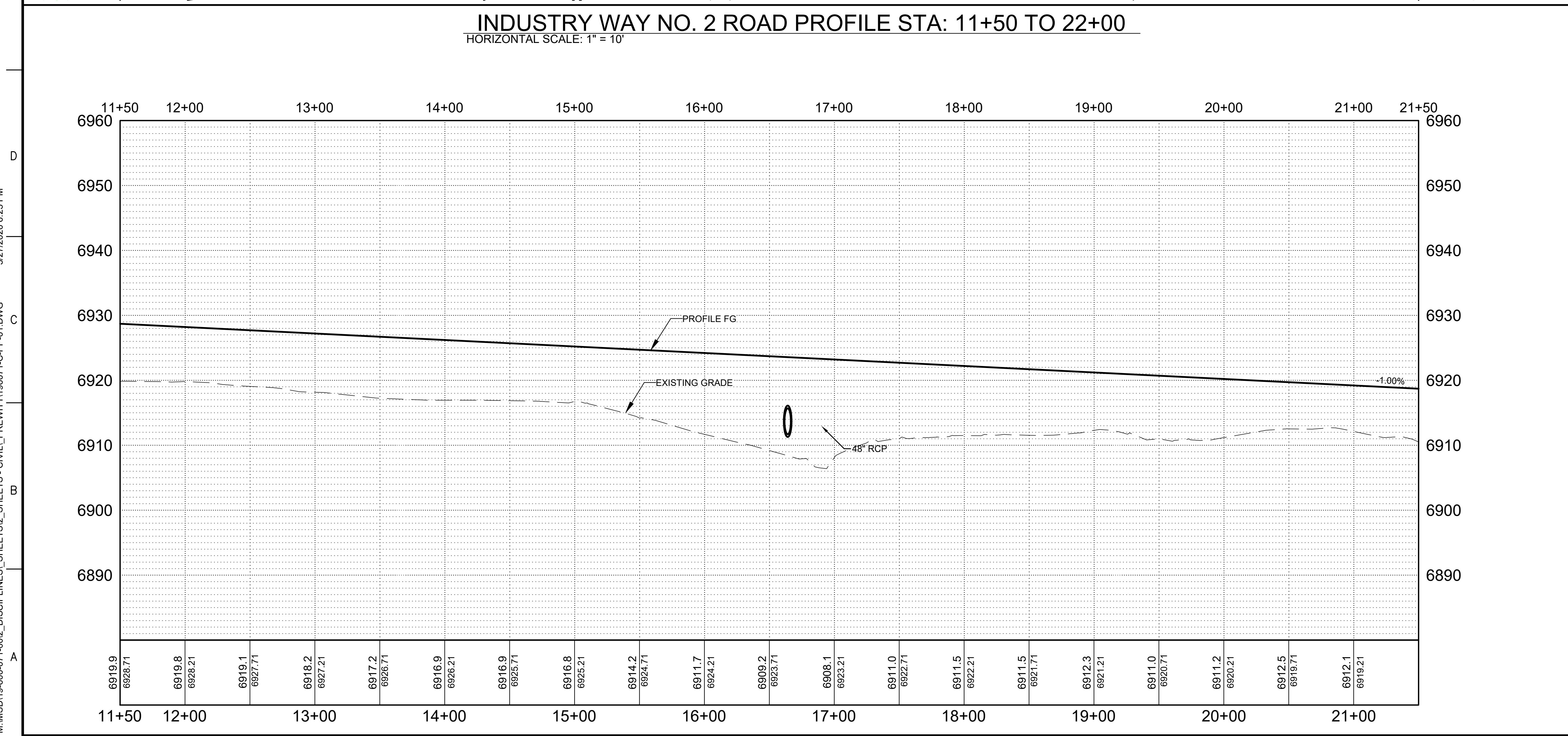
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**INDUSTRY WAY NO. 2 ROAD PLAN STA: 11+50 TO 22+00**  
 HORIZONTAL SCALE: 1" = 50'



**INDUSTRY WAY NO. 2 ROAD PROFILE STA: 11+50 TO 22+00**  
 HORIZONTAL SCALE: 1" = 10'



**GENERAL NOTES**

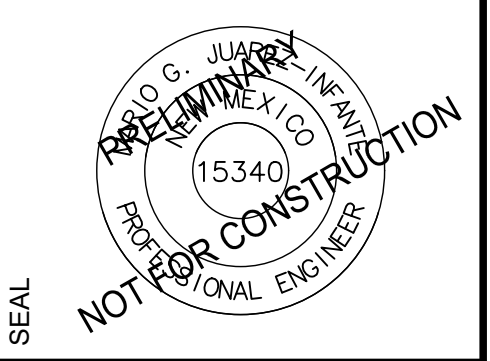
- SEE SHEET C-300 FOR TYPICAL SECTION.
- ALL STATIONING REFERS TO APPARENT CENTERLINE OF STREET UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS ARE AT PROFILE GRADE UNLESS OTHERWISE NOTED.

**KEYNOTES**

- BUILD ASPHALT CONCRETE PER TYPICAL SECTIONS, SEE SHEETS C-300.
- 4" SOLID WHITE RETROREFLECTORIZED PAINTED PAVEMENT MARKING AND 4" DASHED YELLOW STRIPE PER TYPICAL SECTION.
- BUILD SWALE PER TYPICAL SECTION C-300
- CONSTRUCT TYPICAL FIRE HYDRANT PER DETAIL A1 & A6 SHEET C-504
- CONSTRUCT TYPICAL WATER SERVICE PER DETAIL A1, A6, E1 & E6 SHEET C-505.

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CONSULTANTS



SEAL

PROJECT NAME  
**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
 DESIGNED BY: MJI  
 DRAWN BY: JJC/MIT/WGC  
 CHECKED BY: ---  
 DATE: JUNE 2020

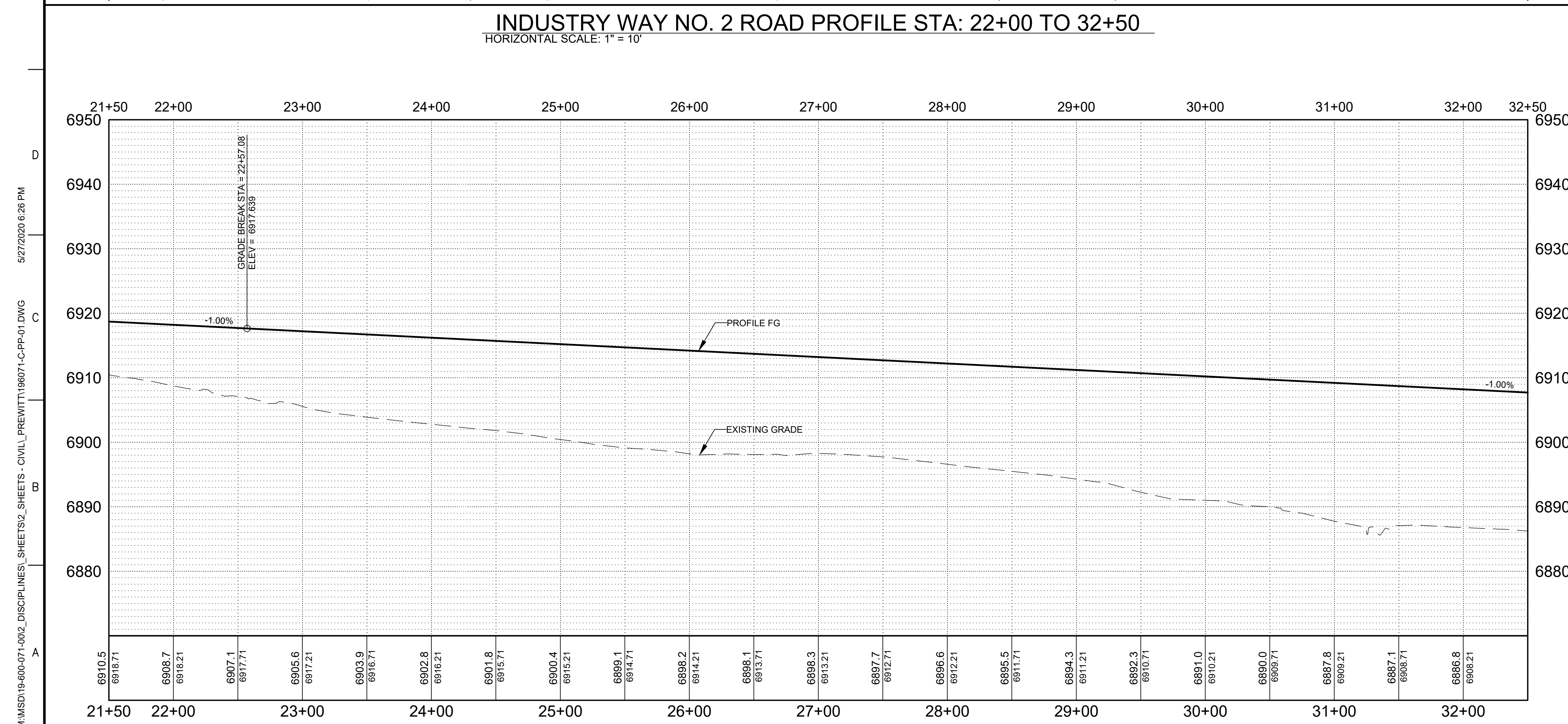
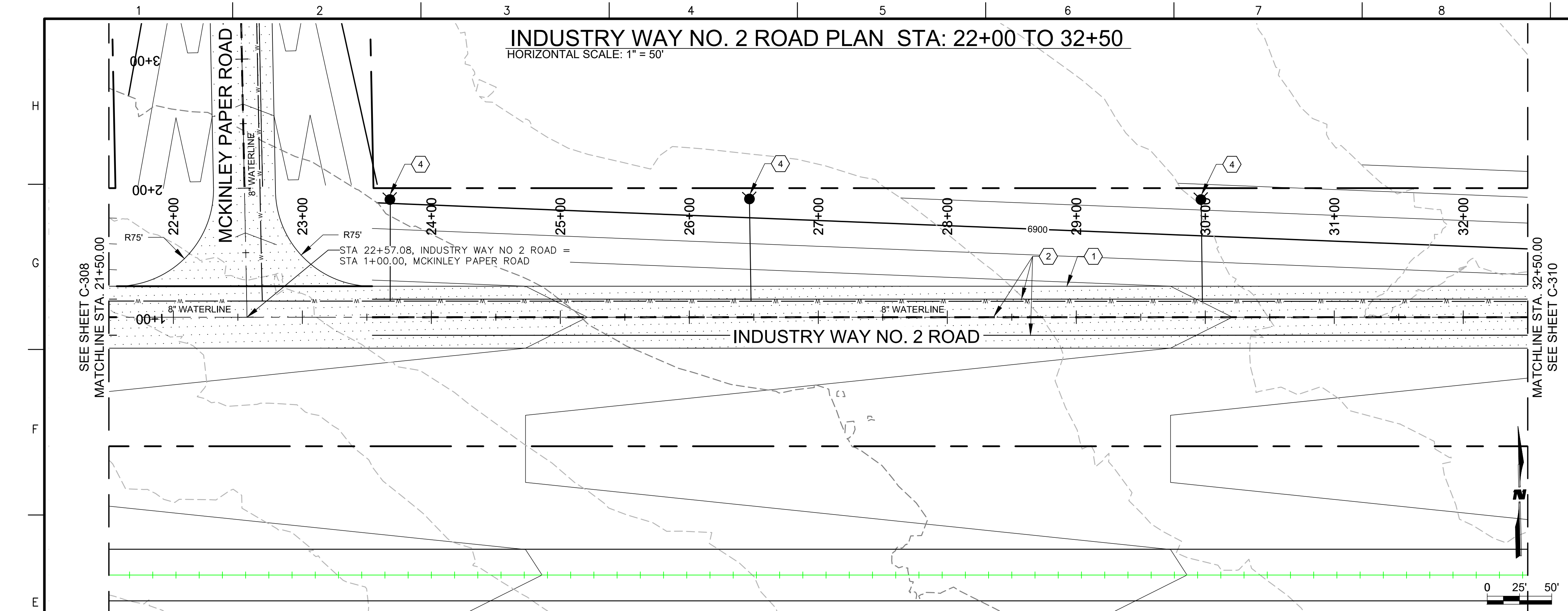
**LEGEND**

- ASPHALT
- WATERLINE

SHEET TITLE  
**INDUSTRY WAY NO. 2 ROAD PLAN & PROFILE**

SHEET NO:  
**C-308**

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**GENERAL NOTES**

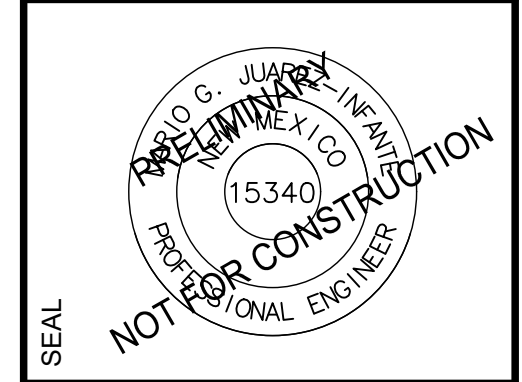
- SEE SHEET C-300 FOR TYPICAL SECTION.
- ALL STATIONING REFERS TO APPARENT CENTERLINE OF STREET UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS ARE AT PROFILE GRADE UNLESS OTHERWISE NOTED.

**KEYNOTES**

- BUILD ASPHALT CONCRETE PER TYPICAL SECTIONS, SEE SHEETS C-300.
- 4" SOLID WHITE RETROREFLECTORIZED PAINTED PAVEMENT MARKING AND 4" DASHED YELLOW STRIPE PER TYPICAL SECTION.
- BUILD SWALE PER TYPICAL SECTION C-300
- CONSTRUCT TYPICAL FIRE HYDRANT PER DETAIL A1 & A6 SHEET C-504
- CONSTRUCT TYPICAL WATER SERVICE PER DETAIL A1, A6, E1 & E6 SHEET C-505.

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FAX: 505-348-4155 SECOND FLOOR  
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**CONSULTANTS**



**PROJECT NAME**  
PREWITT INDUSTRIAL PARK

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
DESIGNED BY: MJJ  
DRAWN BY: JJC/MIT/WGC  
CHECKED BY: ---  
DATE: JUNE 2020

**LEGEND**

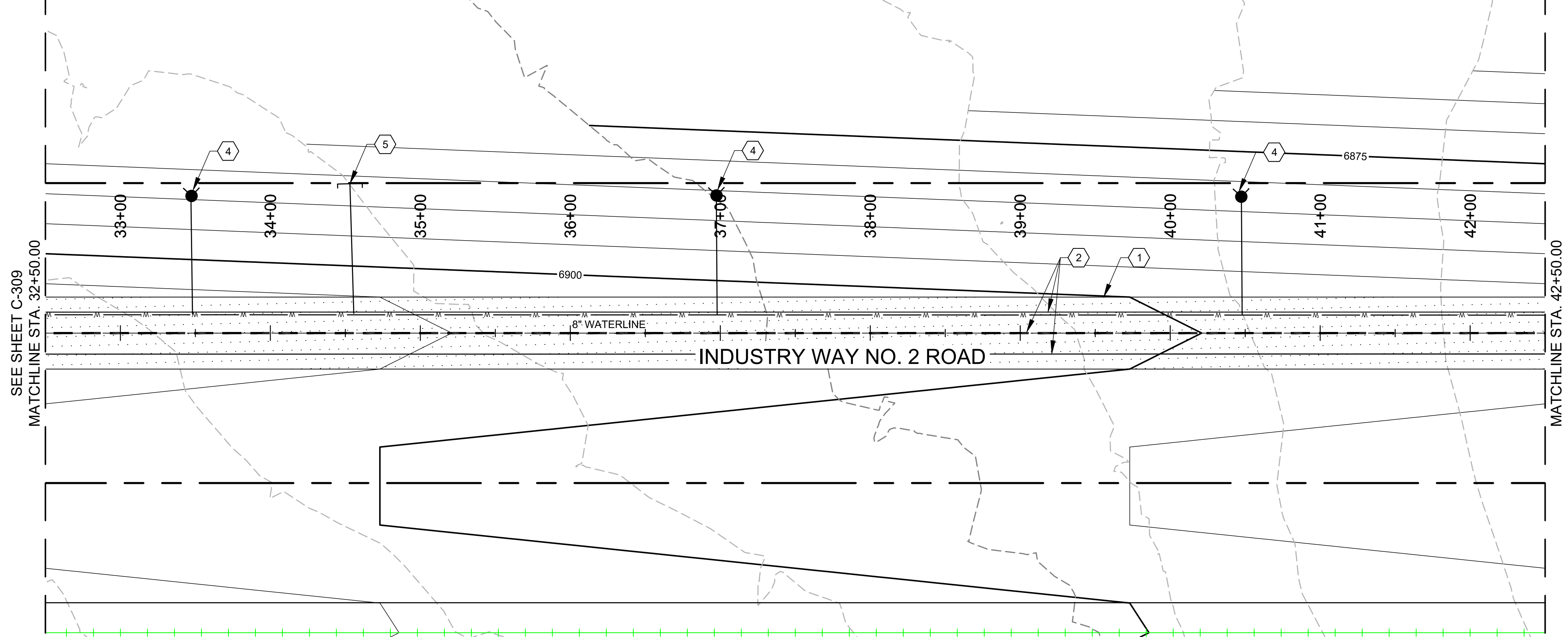
- ASPHALT
- WATERLINE

**SHEET TITLE**  
INDUSTRY WAY NO. 2 ROAD PLAN & PROFILE

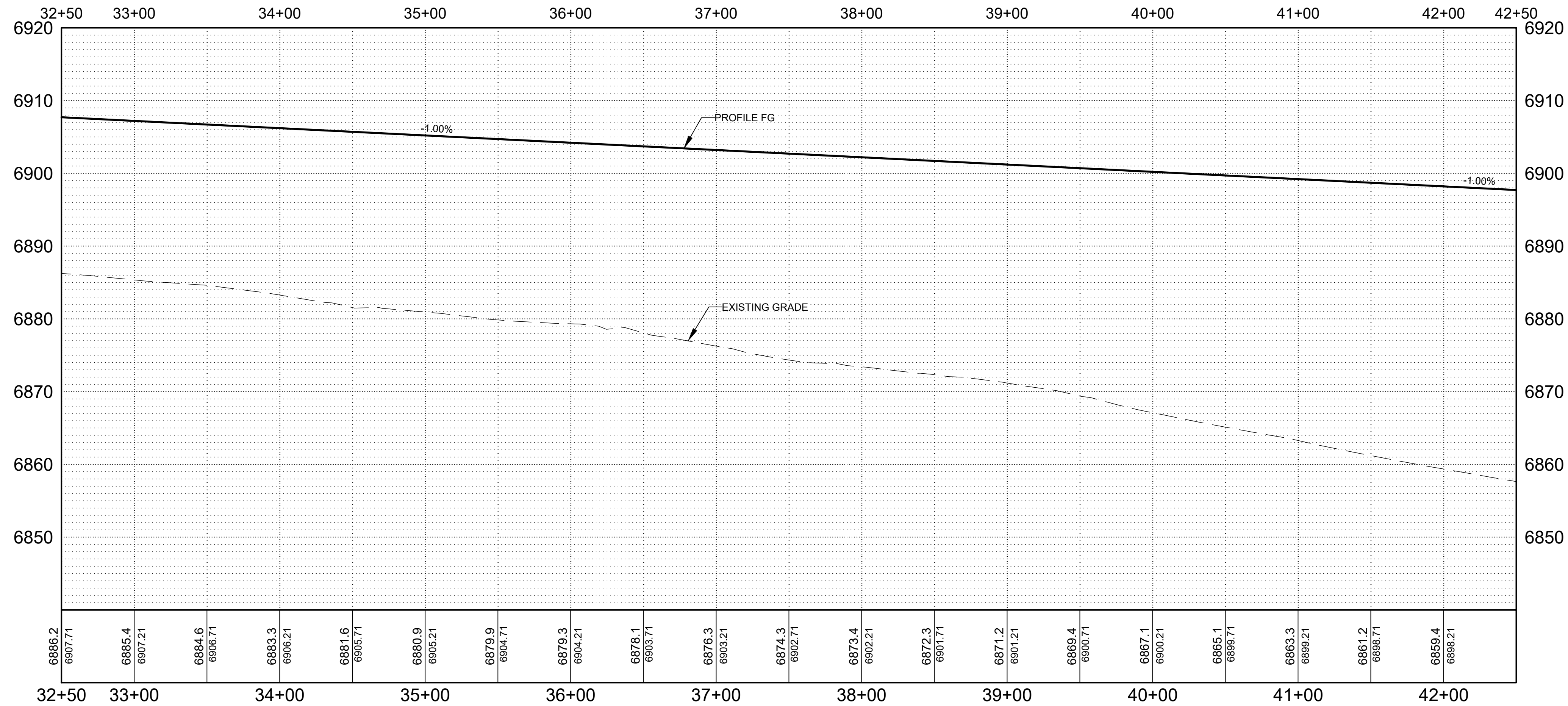
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C-309

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**INDUSTRY WAY NO. 2 ROAD PLAN STA: 32+50 TO 43+00**  
HORIZONTAL SCALE: 1" = 50'



**INDUSTRY WAY NO. 2 ROAD PROFILE STA: 32+50 TO 43+00**  
HORIZONTAL SCALE: 1" = 10'



**GENERAL NOTES**

- SEE SHEET C-300 FOR TYPICAL SECTION.
- ALL STATIONING REFERS TO APPARENT CENTERLINE OF STREET UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS ARE AT PROFILE GRADE UNLESS OTHERWISE NOTED.

**KEYNOTES**

- BUILD ASPHALT CONCRETE PER TYPICAL SECTIONS, SEE SHEETS C-300.
- 4" SOLID WHITE RETROREFLECTORIZED PAINTED PAVEMENT MARKING AND 4" DASHED YELLOW STRIPE PER TYPICAL SECTION.
- BUILD SWALE PER TYPICAL SECTION C-300
- CONSTRUCT TYPICAL FIRE HYDRANT PER DETAIL A1 & A6 SHEET C-504
- CONSTRUCT TYPICAL WATER SERVICE PER DETAIL A1, A6, E1 & E6 SHEET C-505.

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PHONE: 505-348-4000  
FAX: 505-348-4155 FIRST FLOOR  
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CONSULTANTS

SEAL

NOT FOR CONSTRUCTION

15340

PROFESSIONAL ENGINEER

PROJECT NAME

**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
DESIGNED BY: MJI  
DRAWN BY: JJC/MIT/WGC  
CHECKED BY: ---  
DATE: JUNE 2020

**LEGEND**

- ASPHALT
- WATERLINE

SHEET TITLE

**INDUSTRY WAY NO. 2 ROAD PLAN & PROFILE**

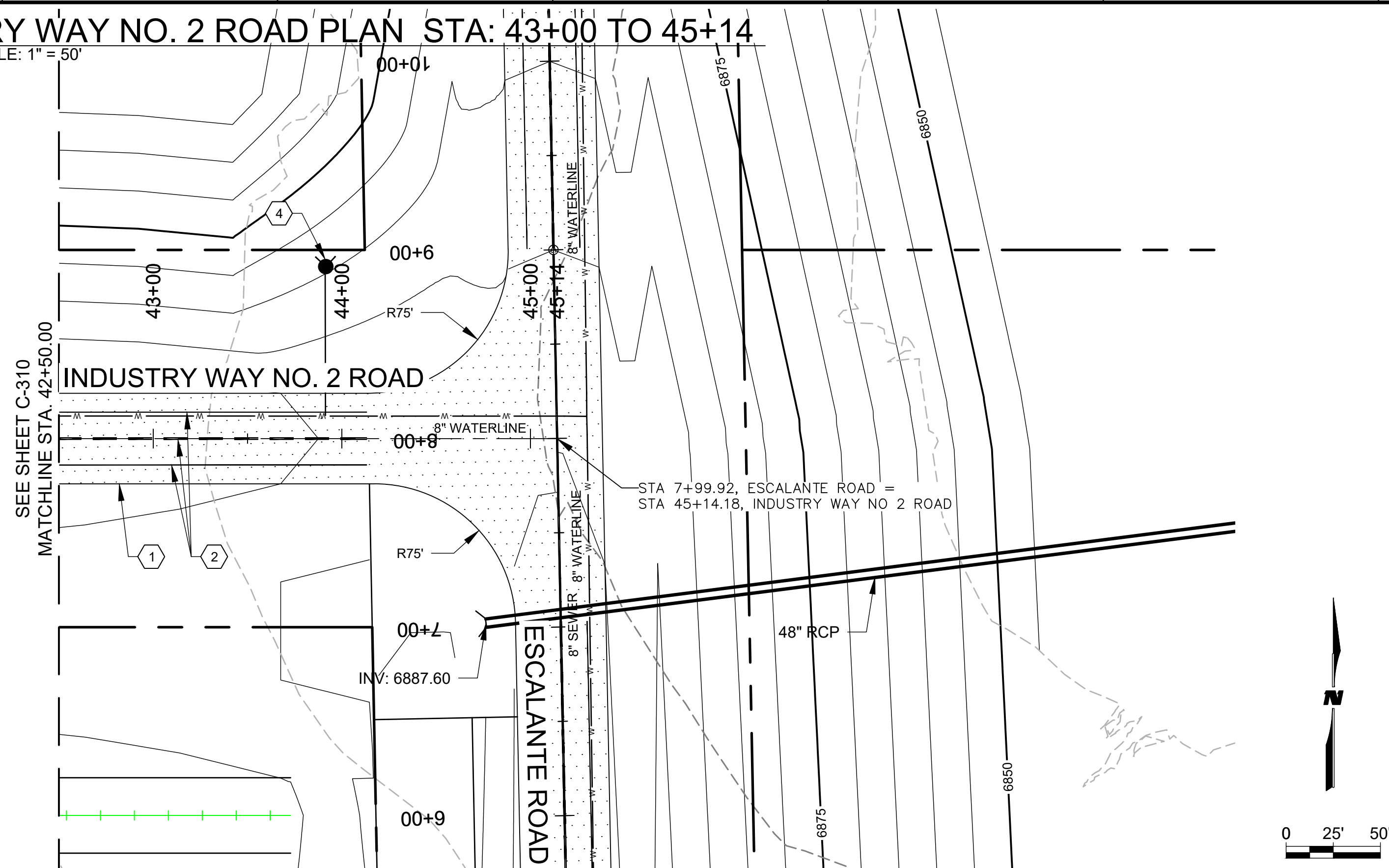
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**C-310**

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**INDUSTRY WAY NO. 2 ROAD PLAN STA: 43+00 TO 45+14**

HORIZONTAL SCALE: 1" = 50'



**GENERAL NOTES**

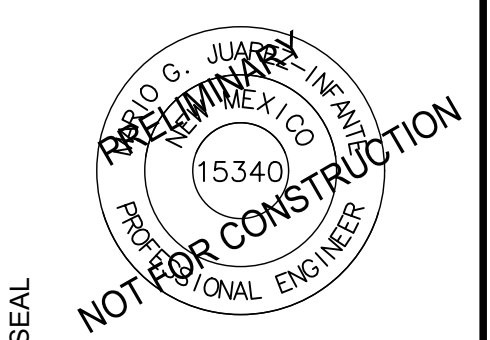
- SEE SHEET C-300 FOR TYPICAL SECTION.
- ALL STATIONING REFERS TO APPARENT CENTERLINE OF STREET UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS ARE AT PROFILE GRADE UNLESS OTHERWISE NOTED.

**KEYNOTES**

- BUILD ASPHALT CONCRETE PER TYPICAL SECTIONS, SEE SHEETS C-300.
- 4" SOLID WHITE RETROREFLECTORIZED PAINTED PAVEMENT MARKING AND 4" DASHED YELLOW STRIPE PER TYPICAL SECTION.
- BUILD SWALE PER TYPICAL SECTION C-300
- CONSTRUCT TYPICAL FIRE HYDRANT PER DETAIL A1 & A6 SHEET C-504
- CONSTRUCT TYPICAL WATER SERVICE PER DETAIL A1, A6, E1 & E6 SHEET C-505.

**WILSON & COMPANY**  
 4401 MASTHEAD ST NE SUITE 150  
 ALBUQUERQUE, NM 871109  
 PHONE: 505-348-4000  
 FAX: 505-348-4155 FIRST FLOOR  
 www.wilsonco.com

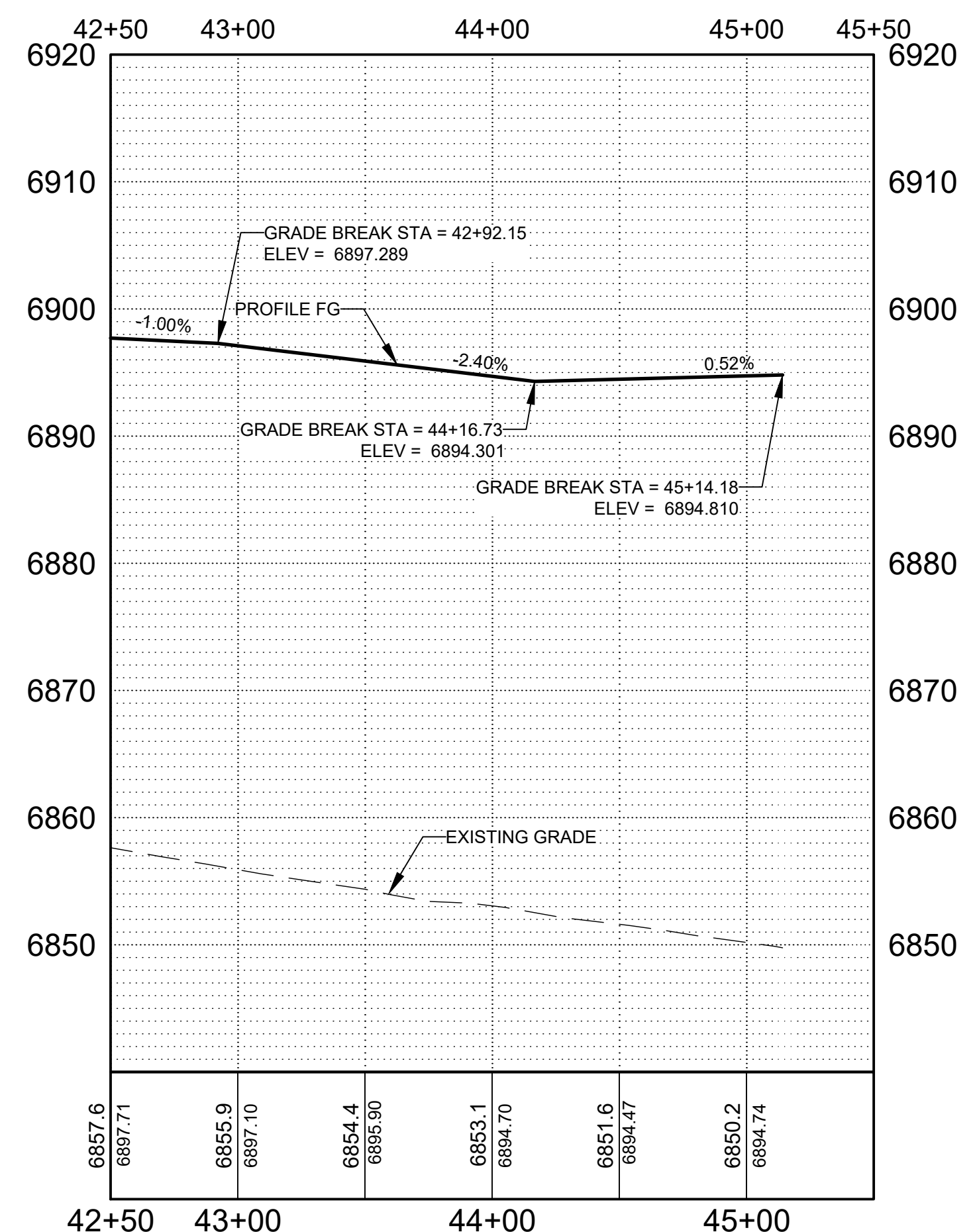
CONSULTANTS



PROJECT NAME  
**PREWITT INDUSTRIAL PARK**

**INDUSTRY WAY NO. 2 ROAD PROFILE STA: 43+00 TO 45+14**

HORIZONTAL SCALE: 1" = 10'



**LEGEND**

- ASPHALT
- WATERLINE

REV.	DATE	DESCRIPTION	BY

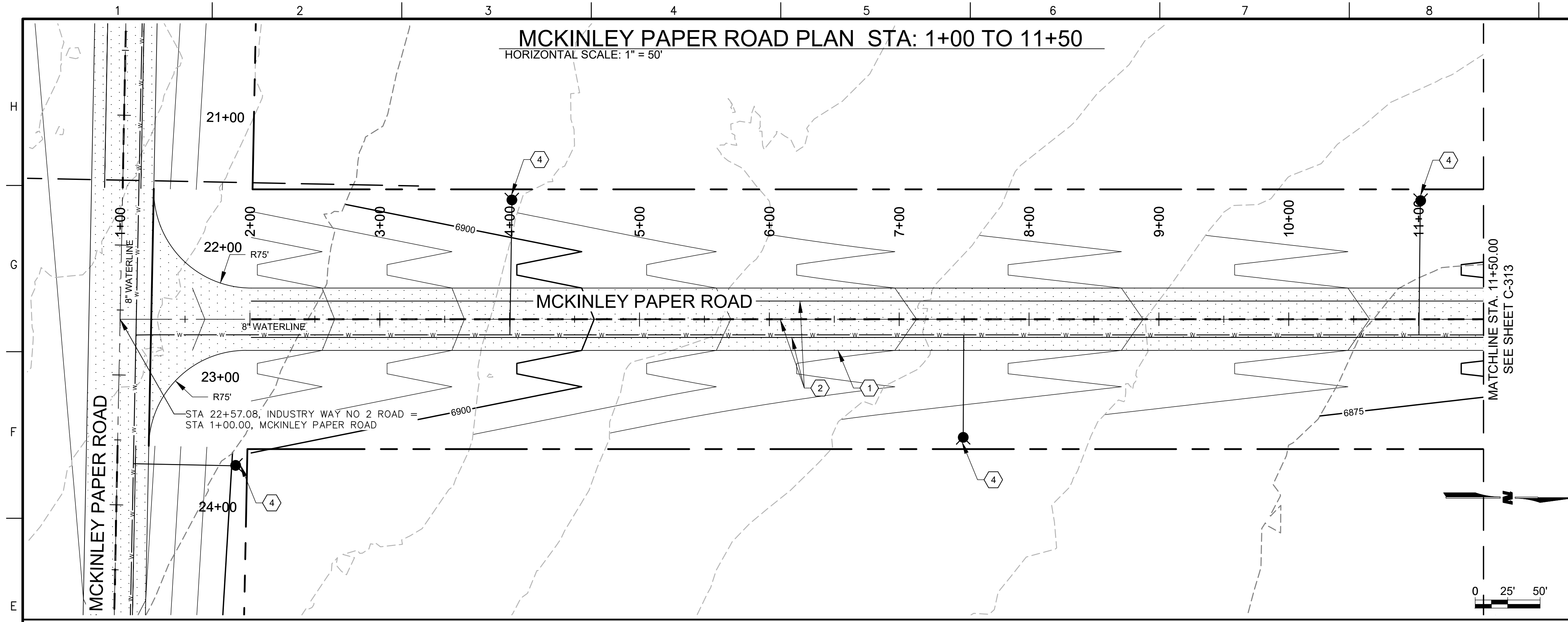
PROJECT NO: 19-600-071  
 DESIGNED BY: MJI  
 DRAWN BY: JJC/MIT/WGC  
 CHECKED BY: ---  
 DATE: JUNE 2020

SHEET TITLE  
**INDUSTRY WAY NO. 2 ROAD PLAN & PROFILE**

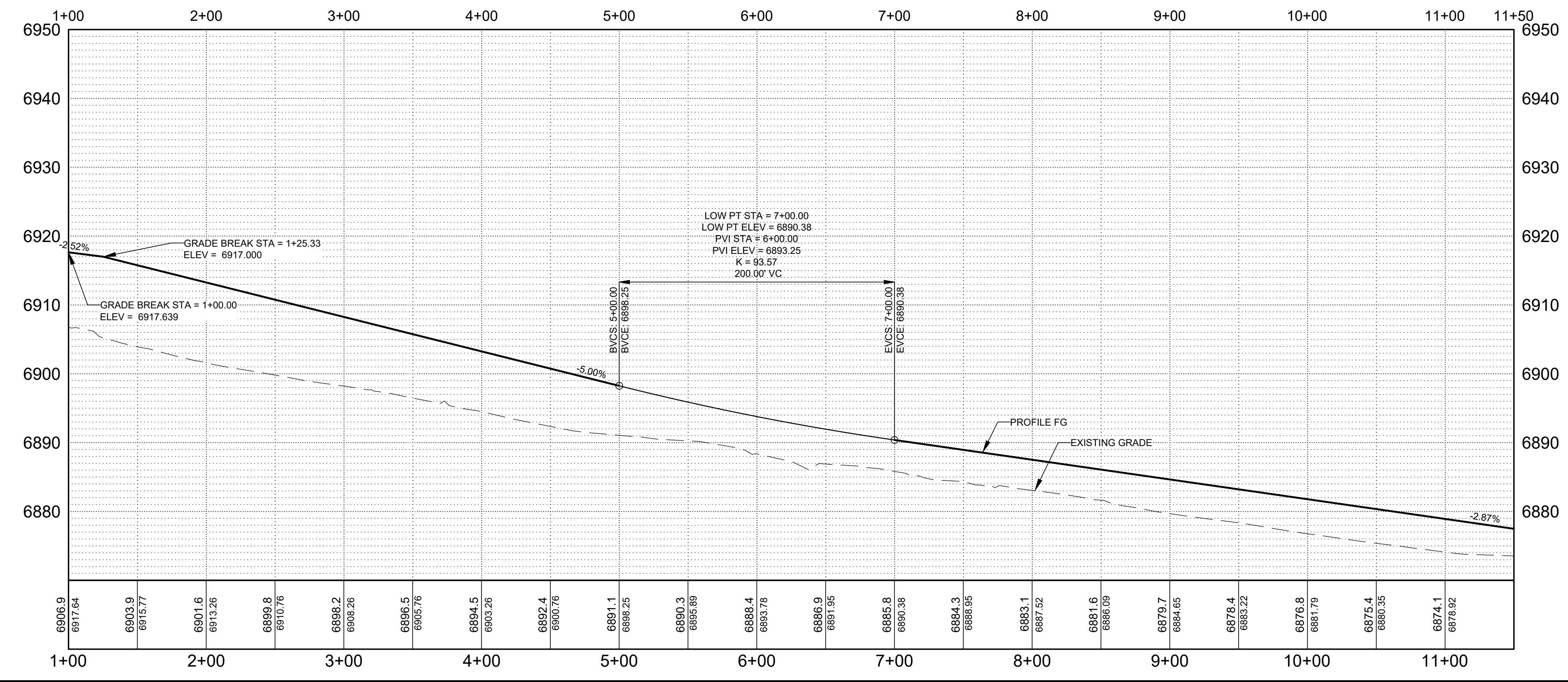
SHEET NO:  
**C-311**

M:\MSD\19-600-071-002\_DISCIPLINES\1\_SHEETS2\_SHEETS - CIVIL\_PREWITT\196071-C-PP-01.DWG 5/27/2020 6:26 PM

**MCKINLEY PAPER ROAD PLAN STA: 1+00 TO 11+50**  
HORIZONTAL SCALE: 1" = 50'



**MCKINLEY PAPER ROAD PROFILE STA: 1+00 TO 11+50**  
HORIZONTAL SCALE: 1" = 10'



**GENERAL NOTES**

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- ALL STATIONING REFERS TO APPARENT CENTERLINE OF STREET UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS ARE AT PROFILE GRADE UNLESS OTHERWISE NOTED.

**KEYNOTES**

- BUILD ASPHALT CONCRETE PER TYPICAL SECTIONS, SEE SHEETS C-300.
- 4" SOLID WHITE RETROREFLECTORIZED PAINTED PAVEMENT MARKING AND 4" DASHED YELLOW STRIPE PER TYPICAL SECTION.
- BUILD SWALE PER TYPICAL SECTION C-300
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- CONSTRUCT TYPICAL WATER SERVICE PER DETAIL A1, A6, E1 & E6 SHEET C-505.

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ALBUQUERQUE, NM 87109  
PHONE: 505-348-4000  
FAX: 505-348-4055 SECOND FLOOR  
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CONSULTANTS

SEAL

NOT FOR CONSTRUCTION

15340

PROFESSIONAL ENGINEER

PROJECT NAME

**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
DESIGNED BY: MJJ  
DRAWN BY: JJC/MITW/GC  
CHECKED BY: ---  
DATE: JUNE 2020

**LEGEND**

- ASPHALT
- WATERLINE

SHEET TITLE

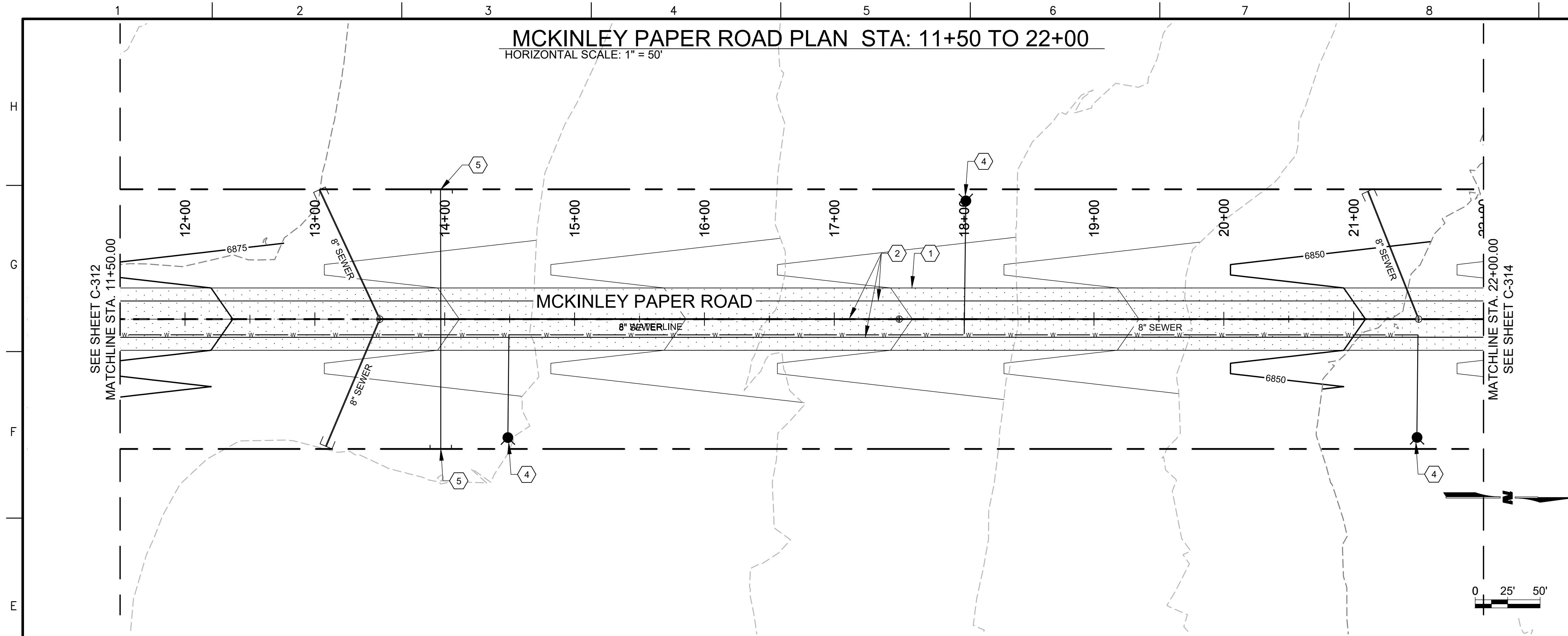
**MCKINLEY PAPER ROAD PLAN & PROFILE**

SHEET NO:

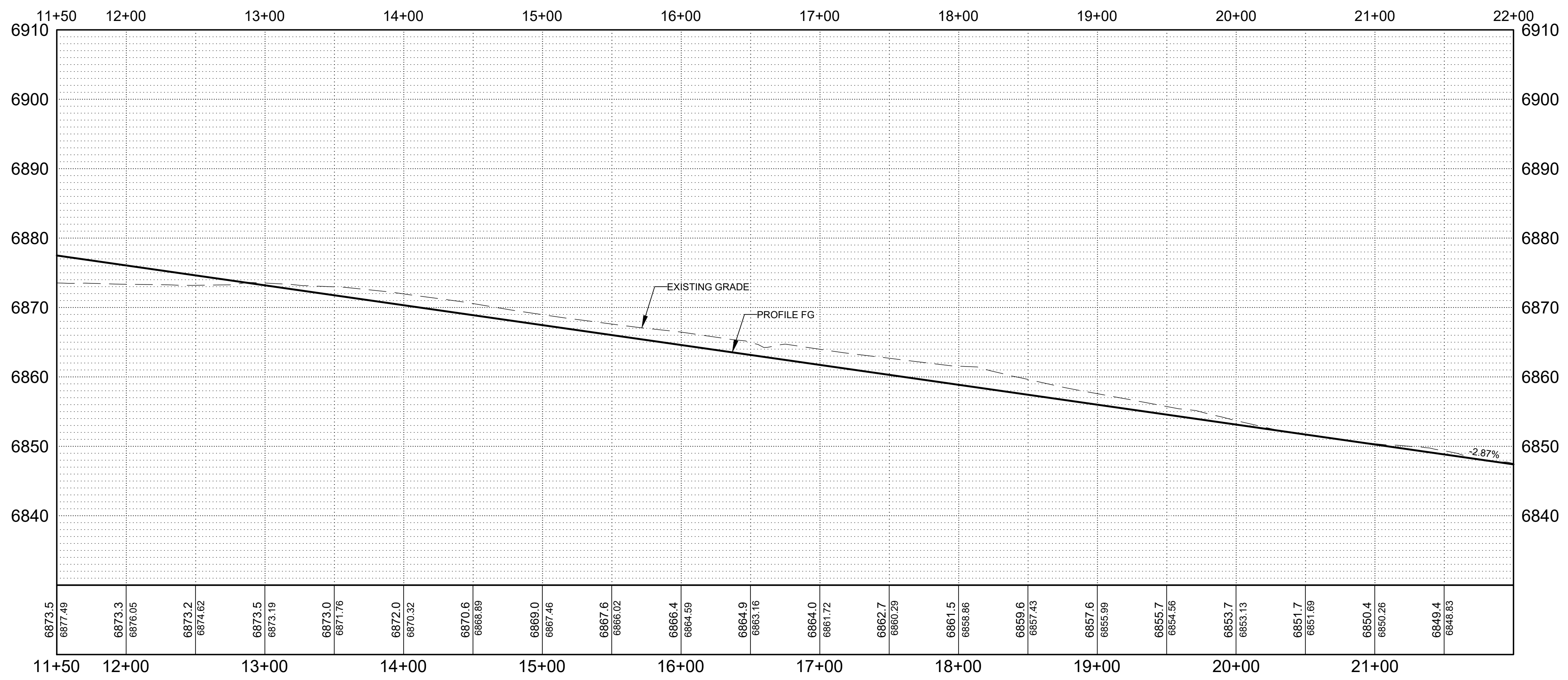
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MCKINLEY PAPER ROAD PLAN STA: 11+50 TO 22+00  
HORIZONTAL SCALE: 1" = 50'



MCKINLEY PAPER ROAD PROFILE STA: 11+50 TO 22+00  
HORIZONTAL SCALE: 1" = 10'



GENERAL NOTES

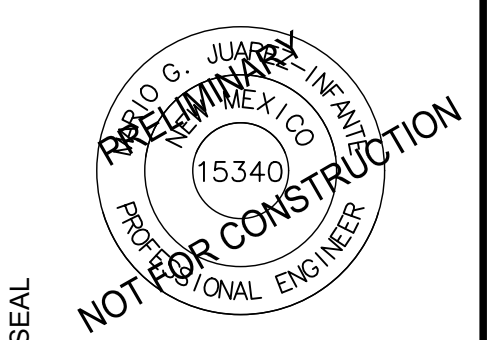
- SEE SHEET C-300 FOR TYPICAL SECTION.
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KEYNOTES

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SEAL

PROJECT NAME

PREWITT INDUSTRIAL PARK

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
 DESIGNED BY: MJJ  
 DRAWN BY: JJC/MIT/WGC  
 CHECKED BY: ---  
 DATE: JUNE 2020

LEGEND

- ASPHALT
- WATERLINE

SHEET TITLE  
 MCKINLEY PAPER ROAD PLAN & PROFILE

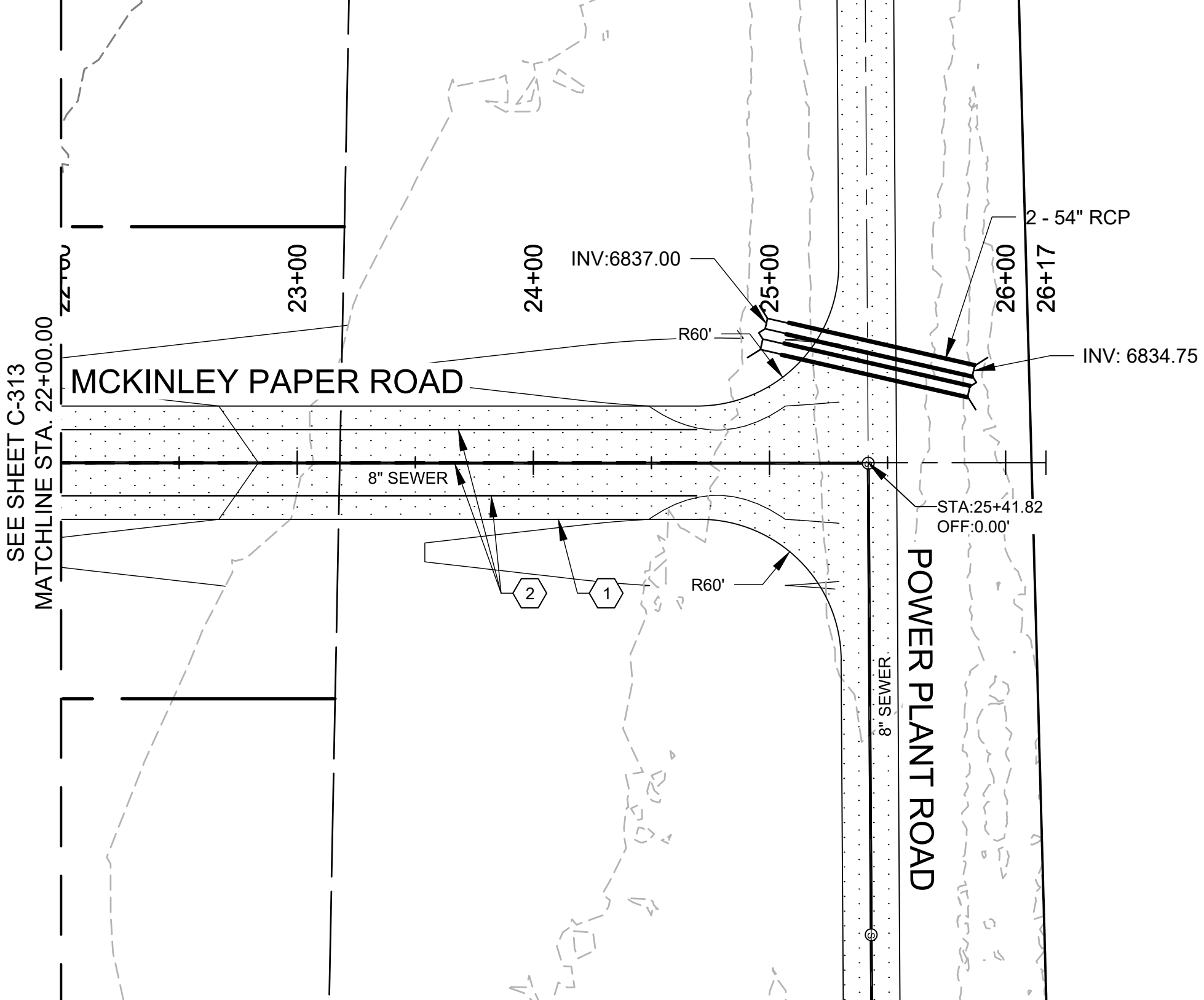
SHEET NO:  
**C-313**

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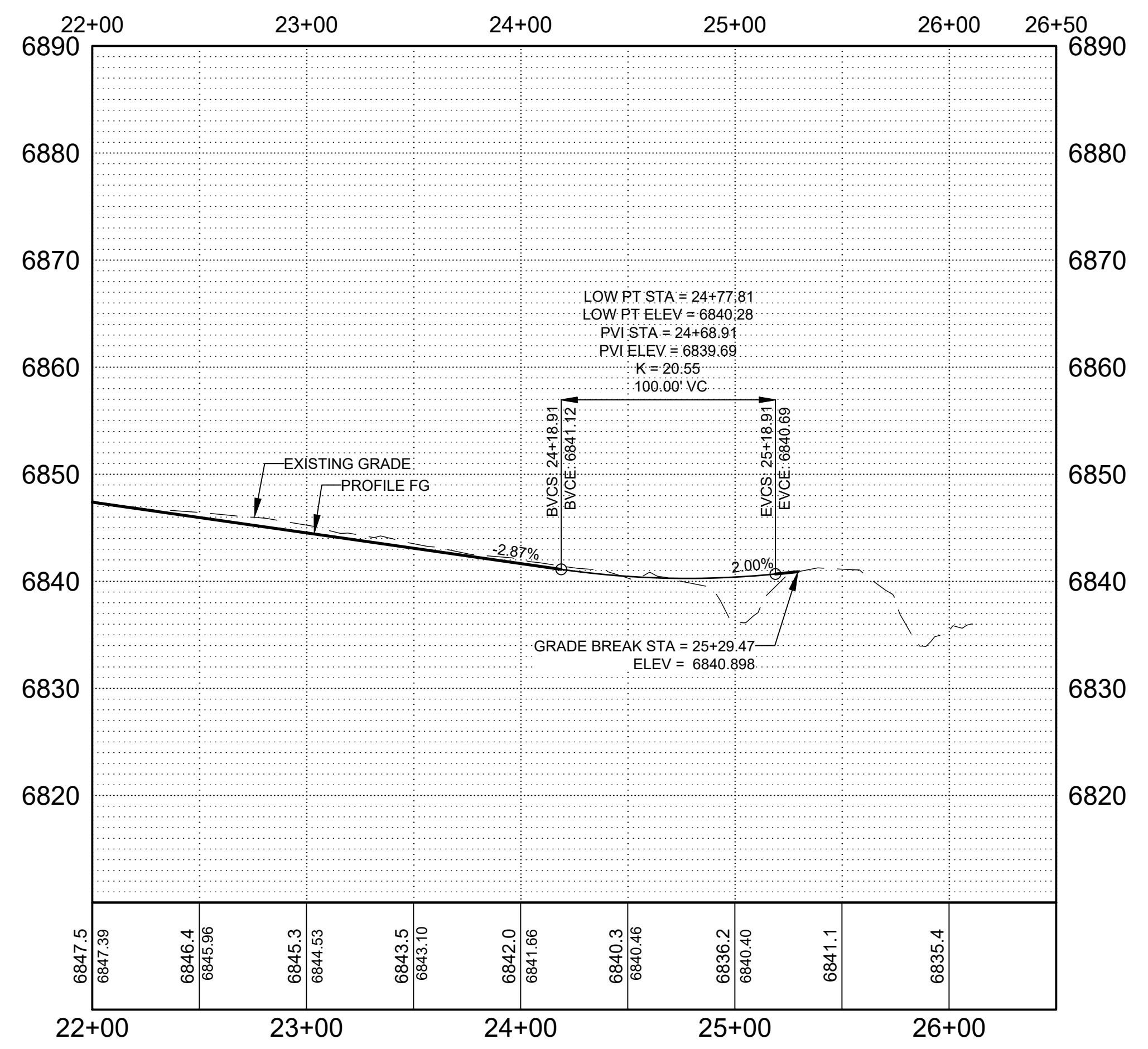
**MCKINLEY PAPER ROAD PLAN STA: 22+00 TO 26+17**

HORIZONTAL SCALE: 1" = 50'



**MCKINLEY PAPER ROAD PROFILE STA: 22+00 TO 26+17**

HORIZONTAL SCALE: 1" = 10'



**GENERAL NOTES**

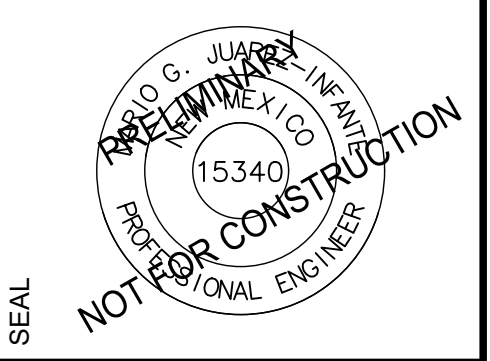
- SEE SHEET C-300 FOR TYPICAL SECTION.
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PROJECT NAME  
**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO:	19-600-071
DESIGNED BY:	MJI
DRAWN BY:	JJC/MIT/WGC
CHECKED BY:	---
DATE:	JUNE 2020

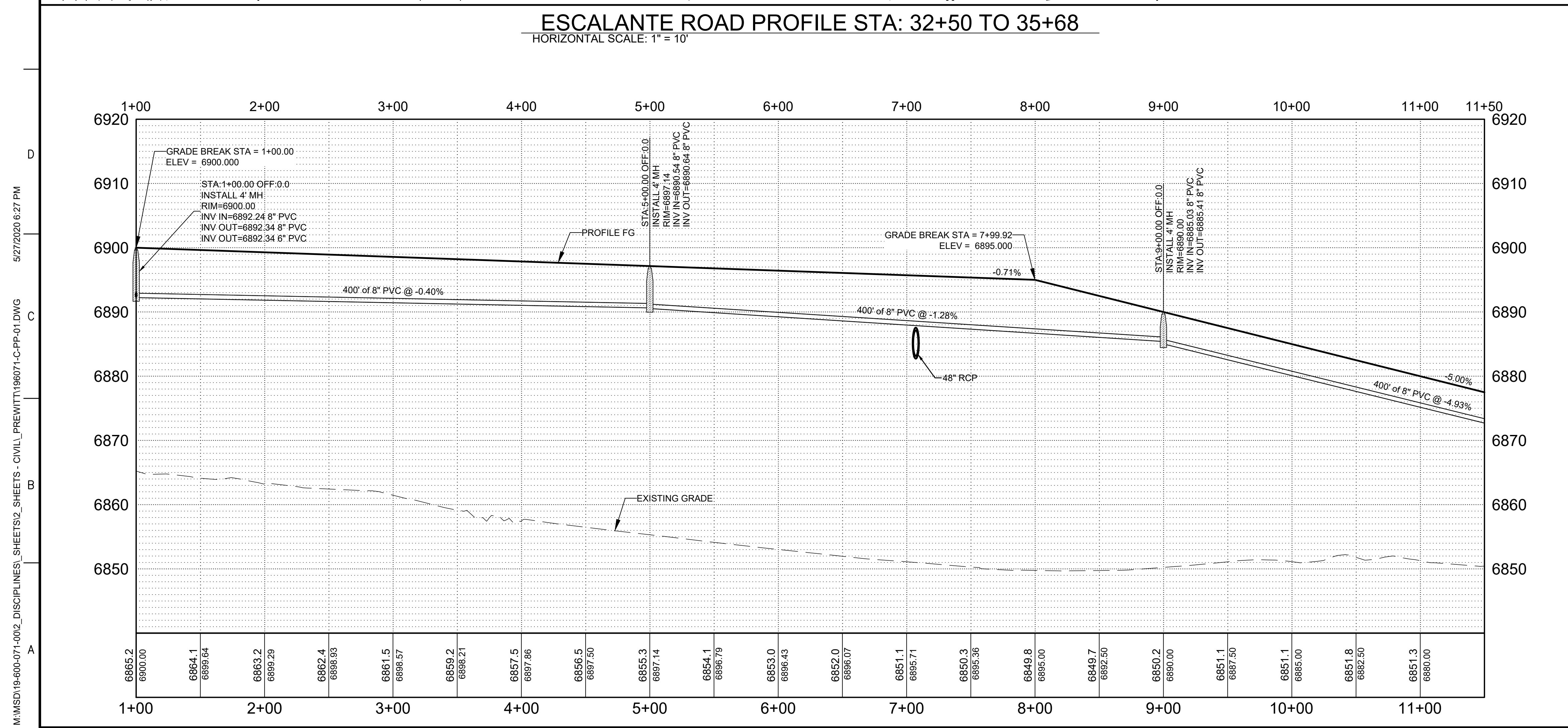
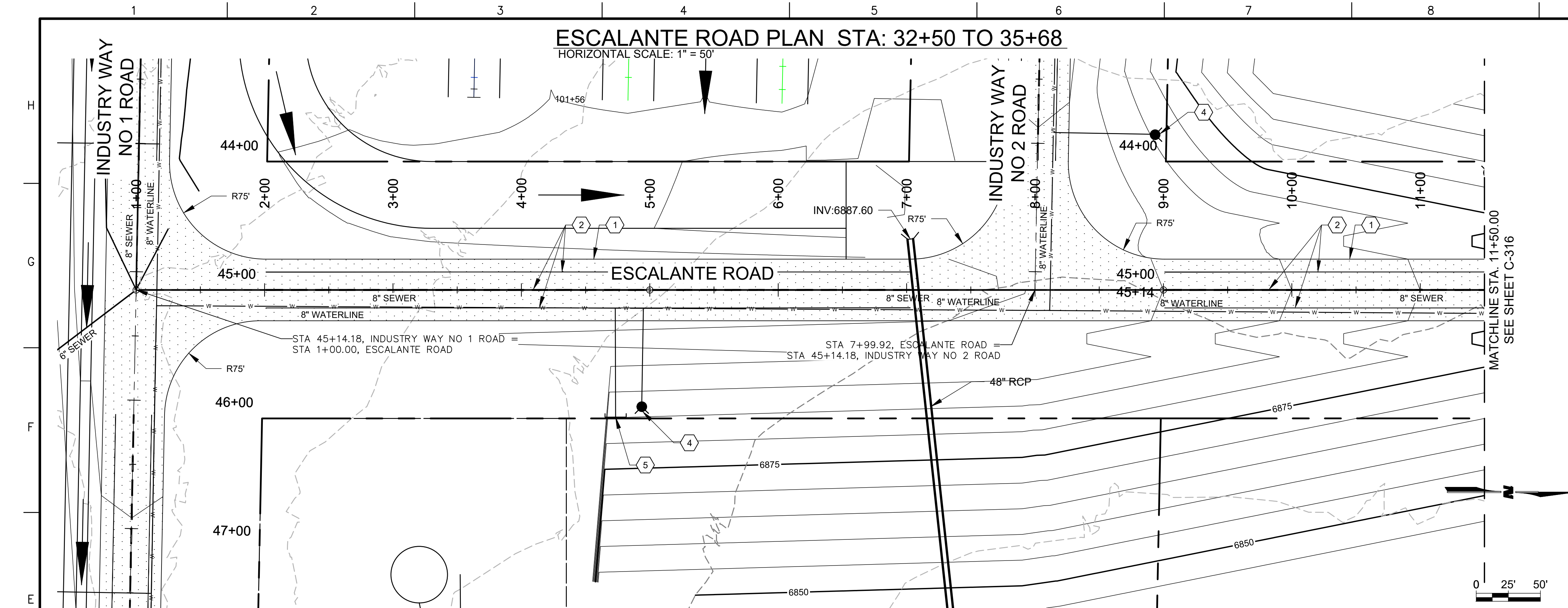
**LEGEND**

- ASPHALT
- WATERLINE

SHEET TITLE  
**MCKINLEY PAPER ROAD PLAN & PROFILE**

SHEET NO:  
**C-314**

M:\MSD\19-600-071-002\_DISCIPLINES\1\_SHEETS2\_SHEETS - CIVIL\_PREWITT196071-C-PP-01.DWG 5/27/2020 6:27 PM



#### GENERAL NOTES

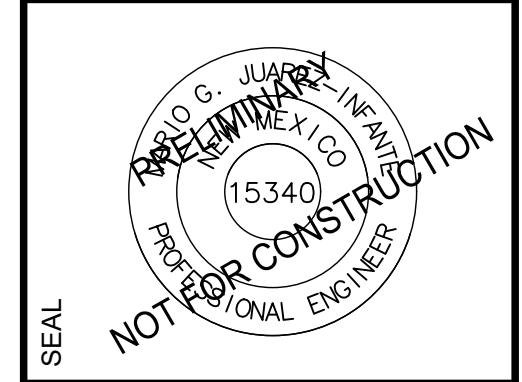
- SEE SHEET C-300 FOR TYPICAL SECTION.
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#### KEYNOTES

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CONSULTANTS



PROJECT NAME  
**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
 DESIGNED BY: MJI  
 DRAWN BY: JJC/MIT/WGC  
 CHECKED BY: ---  
 DATE: JUNE 2020

#### LEGEND

ASPHALT

WATERLINE

SHEET TITLE  
**ESCALANTE ROAD PLAN & PROFILE**

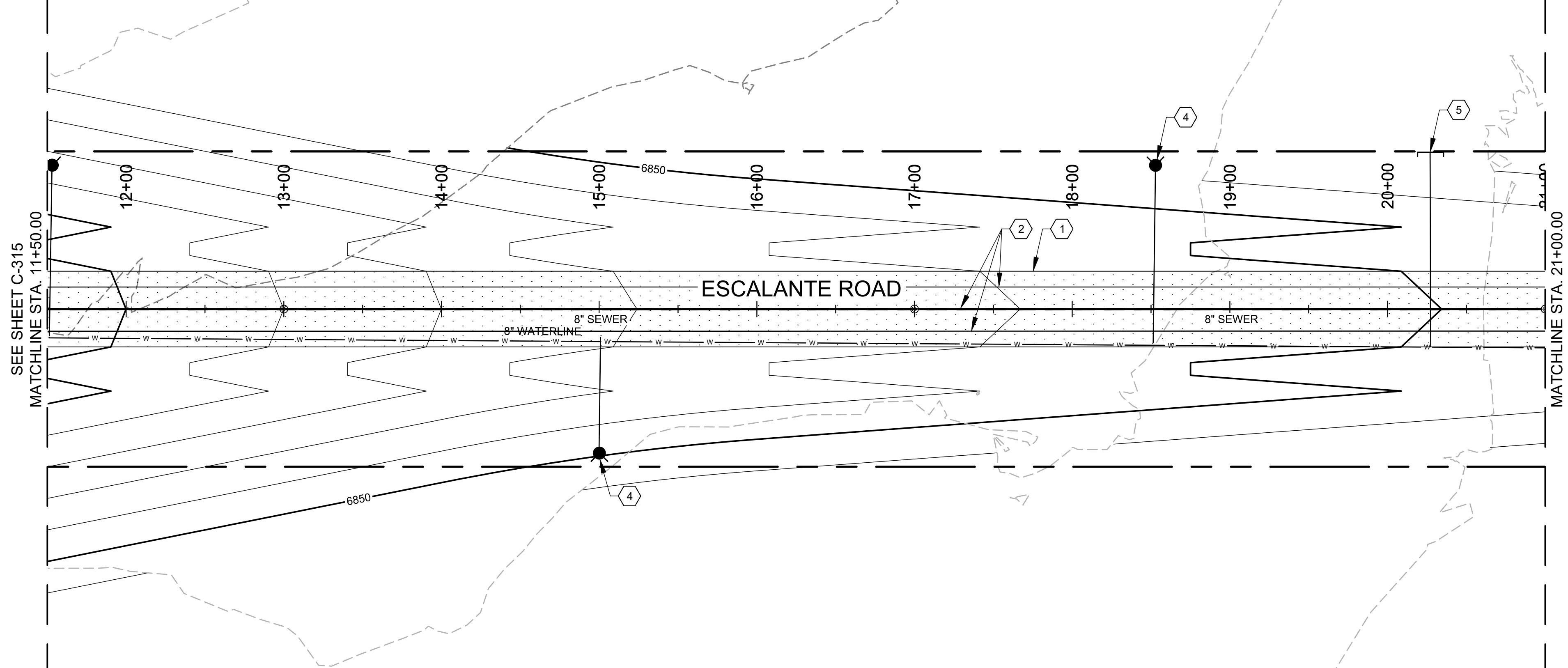
SHEET NO:  
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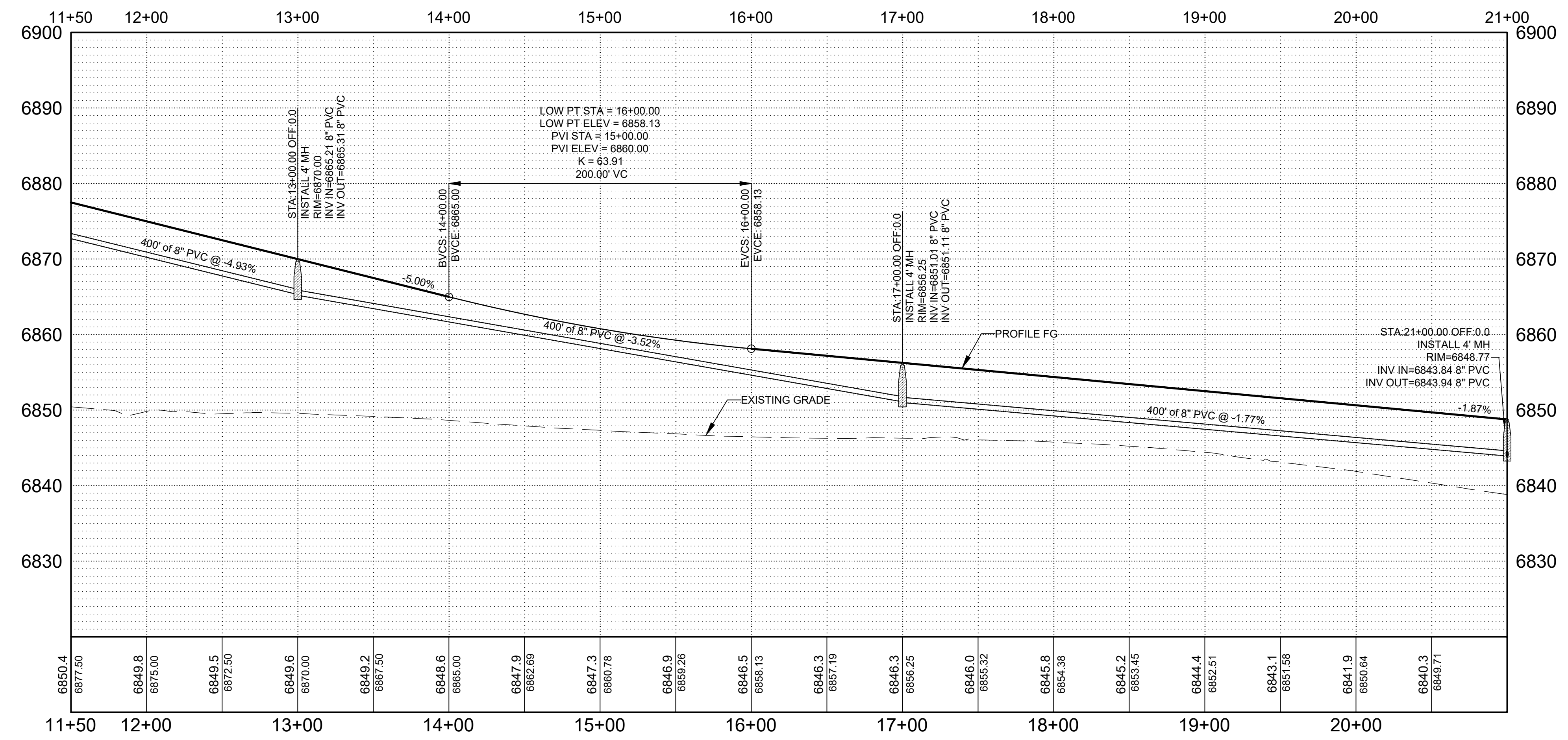
### ESCALANTE ROAD PLAN STA: 11+50 TO 22+00

HORIZONTAL SCALE: 1" = 50'



### ESCALANTE ROAD PROFILE STA: 11+50 TO 22+00

HORIZONTAL SCALE: 1" = 10'



#### GENERAL NOTES

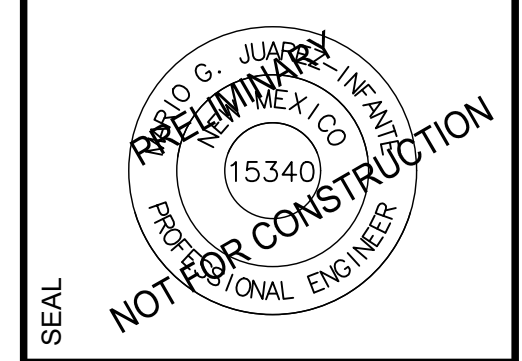
- SEE SHEET C-300 FOR TYPICAL SECTION.
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- CONSULTANTS
- BUILD ASPHALT CONCRETE PER TYPICAL SECTIONS, SEE SHEETS C-300.
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  - CONSTRUCT TYPICAL WATER SERVICE PER DETAIL A1, A6, E1 & E6 SHEET C-505.



PROJECT NAME  
**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
 DESIGNED BY: MJI  
 DRAWN BY: JJC/MIT/WGC  
 CHECKED BY: ---  
 DATE: JUNE 2020

#### LEGEND

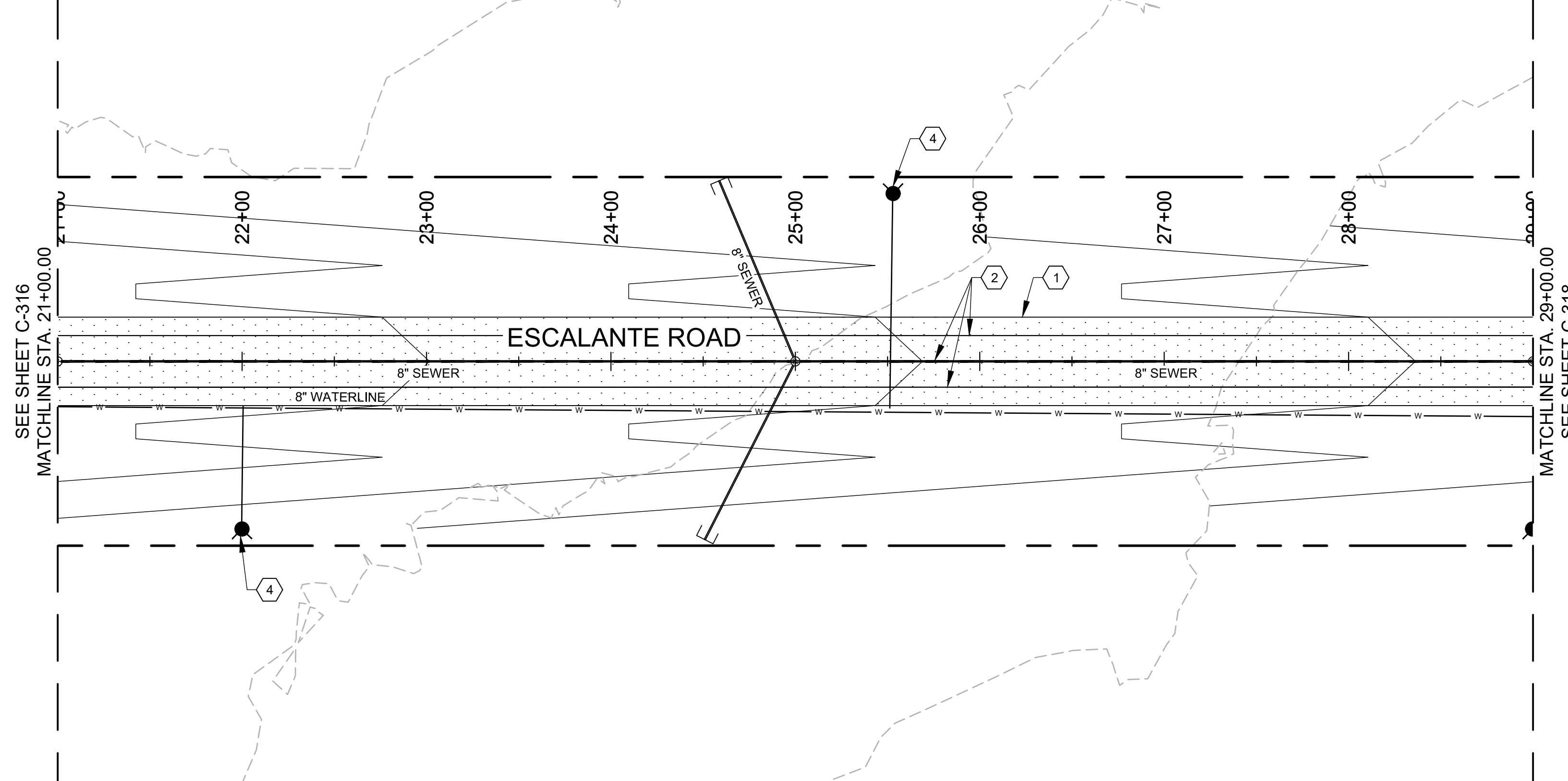
- ASPHALT
- WATERLINE

SHEET TITLE  
**ESCALANTE ROAD  
 PLAN & PROFILE**

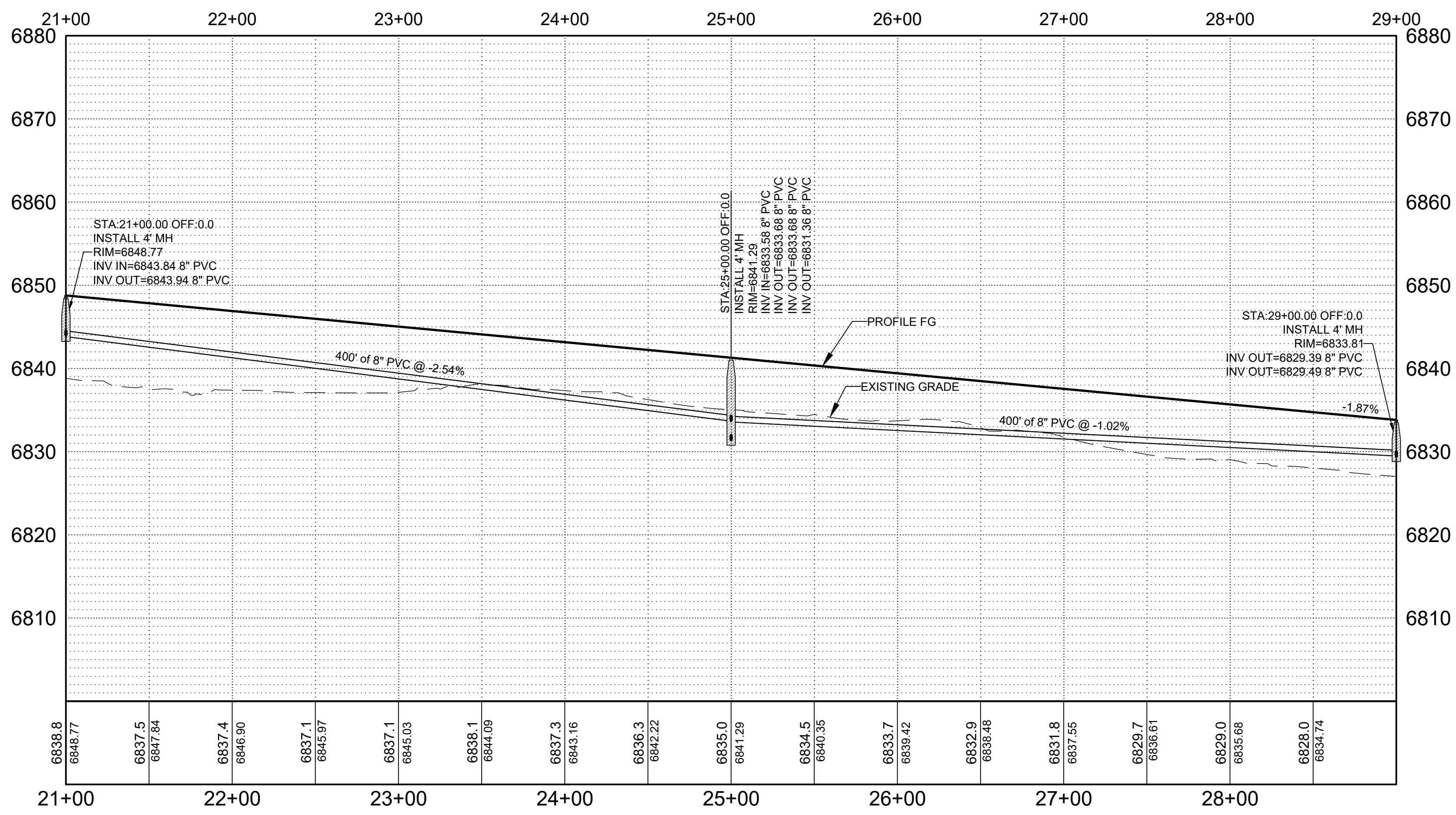
SHEET NO:  
**C-316**

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**ESCALANTE ROAD PLAN STA: 22+00 TO 32+50**  
HORIZONTAL SCALE: 1" = 50'



**ESCALANTE ROAD PROFILE STA: 22+00 TO 32+50**  
HORIZONTAL SCALE: 1" = 10'



**GENERAL NOTES**

- SEE SHEET C-300 FOR TYPICAL SECTION.
- ALL STATIONING REFERS TO APPARENT CENTERLINE OF STREET UNLESS OTHERWISE NOTED.
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**KEYNOTES**

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CONSULTANTS

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PROFESSIONAL ENGINEER

15340

PREWITT INDUSTRIAL PARK

PROJECT NAME

**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
DESIGNED BY: MJI  
DRAWN BY: JJC/MIT/WGC  
CHECKED BY: ---  
DATE: JUNE 2020

**LEGEND**

ASPHALT

WATERLINE

SHEET TITLE

**ESCALANTE ROAD PLAN & PROFILE**

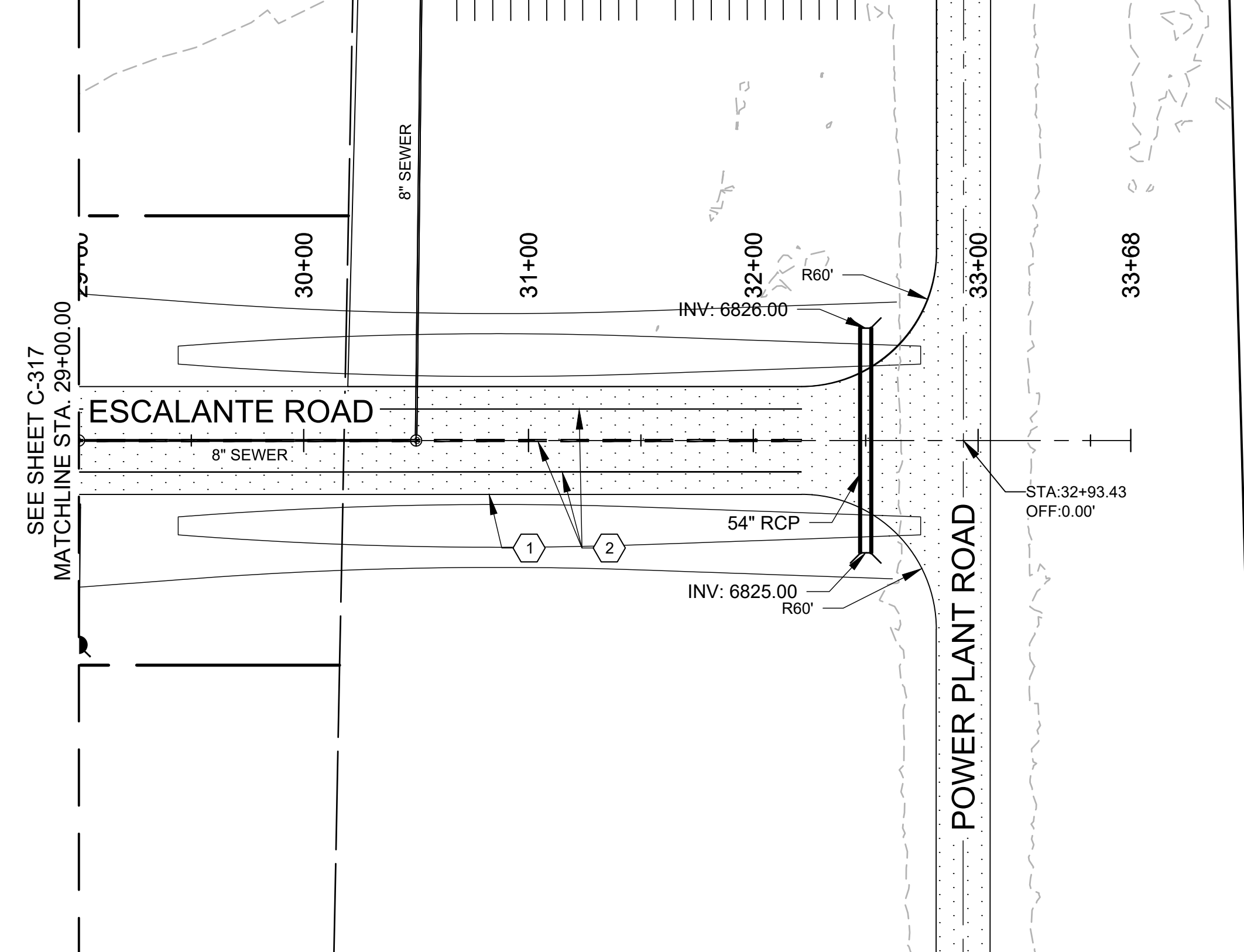
SHEET NO:

**C-317**

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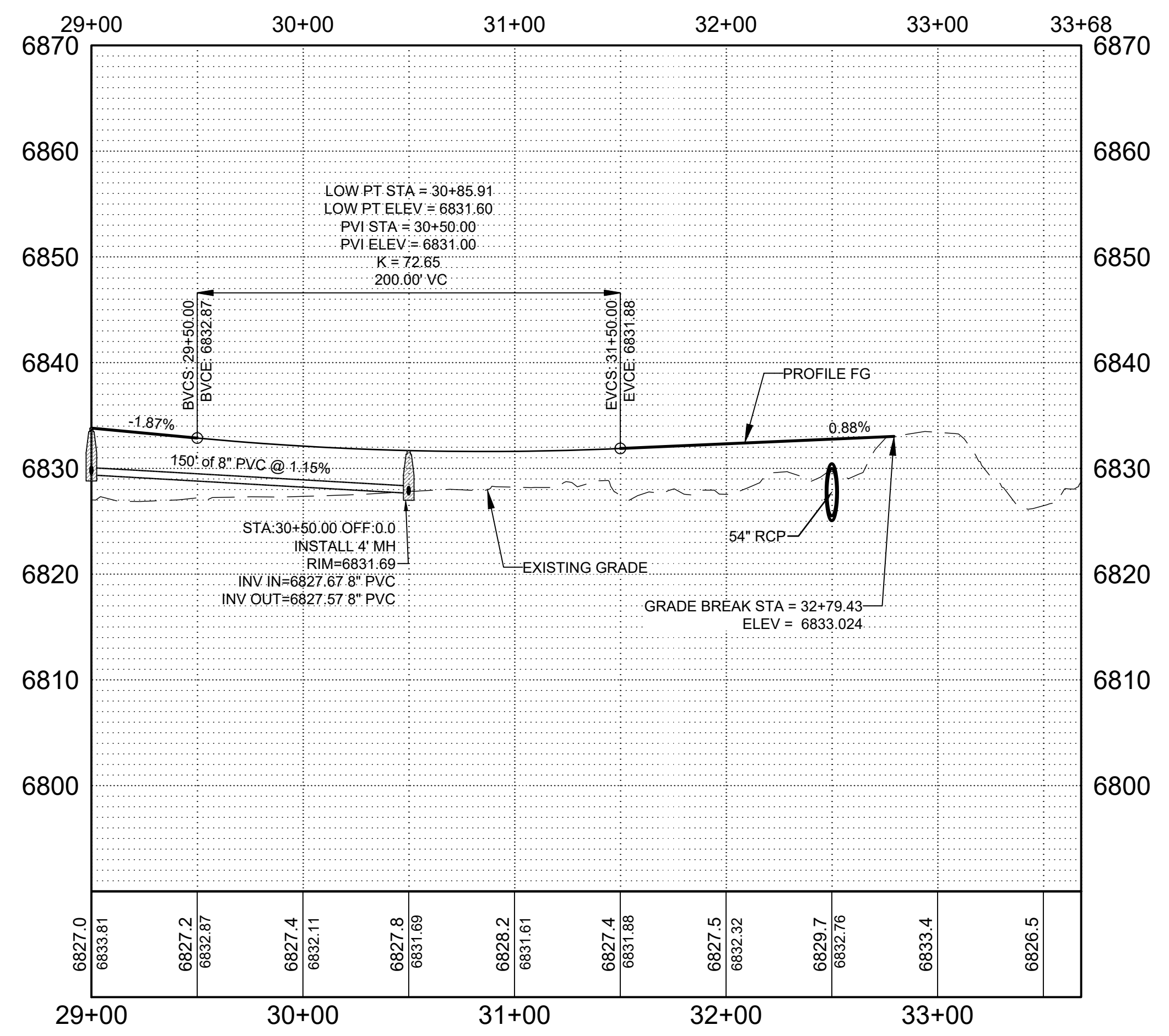
### ESCALANTE ROAD PLAN STA: 32+50 TO 35+68

HORIZONTAL SCALE: 1" = 50'



### ESCALANTE ROAD PROFILE STA: 32+50 TO 35+68

HORIZONTAL SCALE: 1" = 10'



### GENERAL NOTES

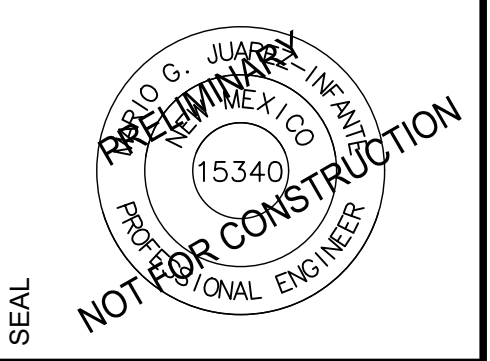
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### KEYNOTES

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CONSULTANTS



PROJECT NAME  
**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

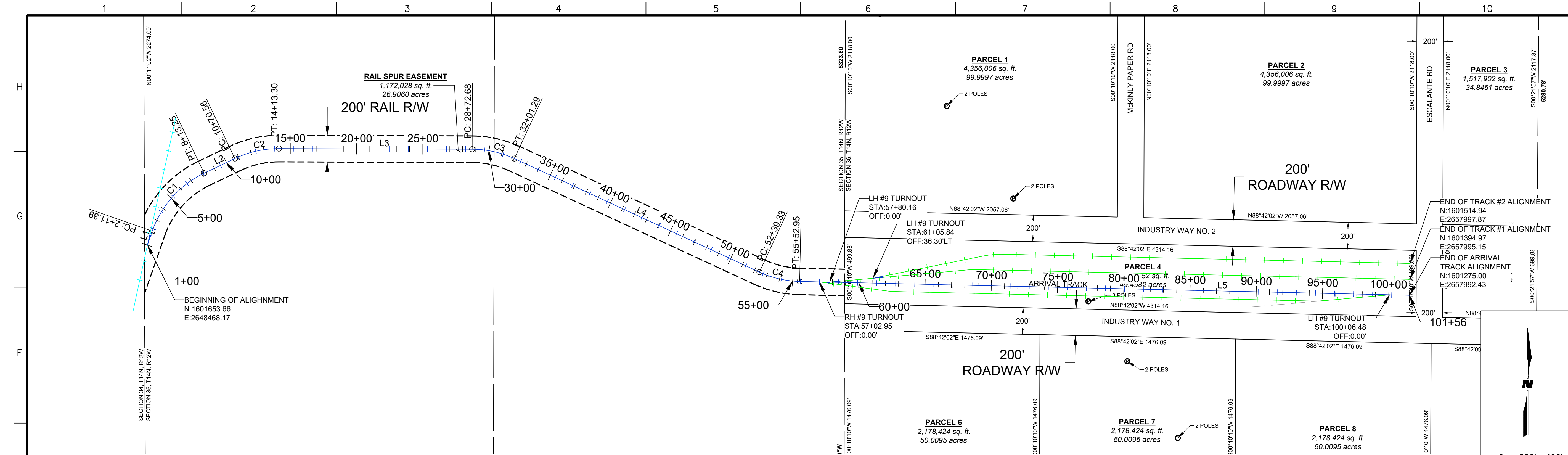
PROJECT NO: 19-600-071  
 DESIGNED BY: MJI  
 DRAWN BY: JJC/MIT/WGC  
 CHECKED BY: ---  
 DATE: JUNE 2020

### LEGEND

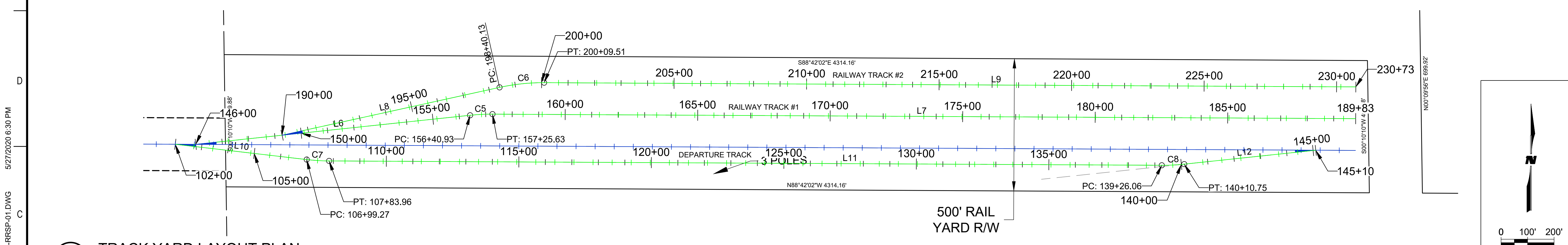
- ASPHALT
- WATERLINE

SHEET TITLE  
**ESCALANTE ROAD  
 PLAN & PROFILE**

SHEET NO:  
**C-318**



**E1** ARRIVAL TRACK OVERALL LAYOUT PLAN  
1" = 400'



**C1** TRACK YARD LAYOUT PLAN  
1" = 200'

ARRIVAL TRACK				
NUMBER	LENGTH	DIRECTION	RADIUS	DELTA
L1	111.39'	N19° 14' 28.01"E		
C1	601.87'	N41° 50' 20.76"E	763.00'	0.79
L2	257.31'	N64° 26' 13.50"E		
C2	342.73'	N77° 18' 19.94"E	763.00'	0.45
L3	1459.38'	S89° 49' 33.62"E		
C3	328.61'	S77° 29' 16.26"E	763.00'	0.43
L4	2038.04'	S65° 08' 58.89"E		
C4	313.62'	S76° 55' 30.46"E	763.00'	0.41
L5	4603.53'	S88° 42' 02.02"E		

TRACK #1				
NUMBER	LENGTH	DIRECTION	RADIUS	DELTA
L6	1040.93'	N84° 56' 22.98"E		
C5	84.69'	N88° 07' 10.48"E	763.00'	0.11
L7	3257.27'	S88° 42' 02.02"E		

TRACK #2				
NUMBER	LENGTH	DIRECTION	RADIUS	DELTA
L8	840.13'	N78° 34' 47.98"E		
C6	169.38'	N84° 56' 22.98"E	763.00'	0.22
L9	3063.14'	S88° 42' 02.02"E		

DEPARTURE TRACK				
NUMBER	LENGTH	DIRECTION	RADIUS	DELTA
L10	499.27'	S82° 20' 27.02"E		
C7	84.69'	S85° 31' 14.52"E	763.00'	0.11
L11	3142.10'	S88° 42' 02.02"E		
C8	84.69'	N88° 07' 10.48"E	763.00'	0.11
L12	499.27'	N84° 56' 22.98"E		

**LEGEND**

- SIDING TRACK RAILS
- MAIN TRACK RAIL
- PARCEL BOUNDARY/ ROADWAY RIGHT OF WAY
- MAIN TRACK RIGHT OF WAY

**WILSON & COMPANY**  
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CONSULTANTS

SEAL NOT FOR CONSTRUCTION

PROJECT NAME: **PREWITT INDUSTRIAL PARK**

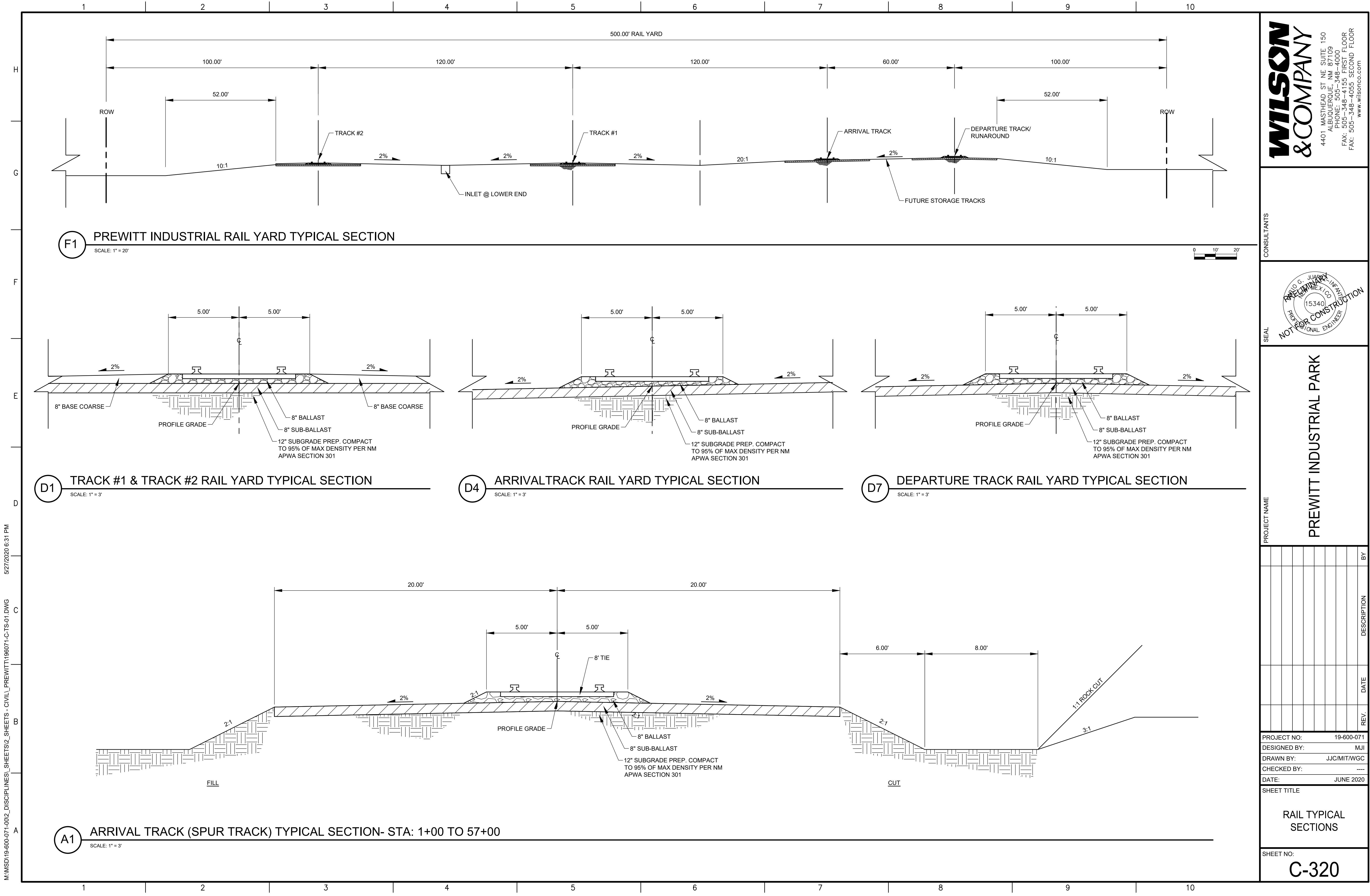
REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
 DESIGNED BY: MJJ  
 DRAWN BY: JJC/MITW/GC  
 CHECKED BY: ---  
 DATE: JUNE 2020

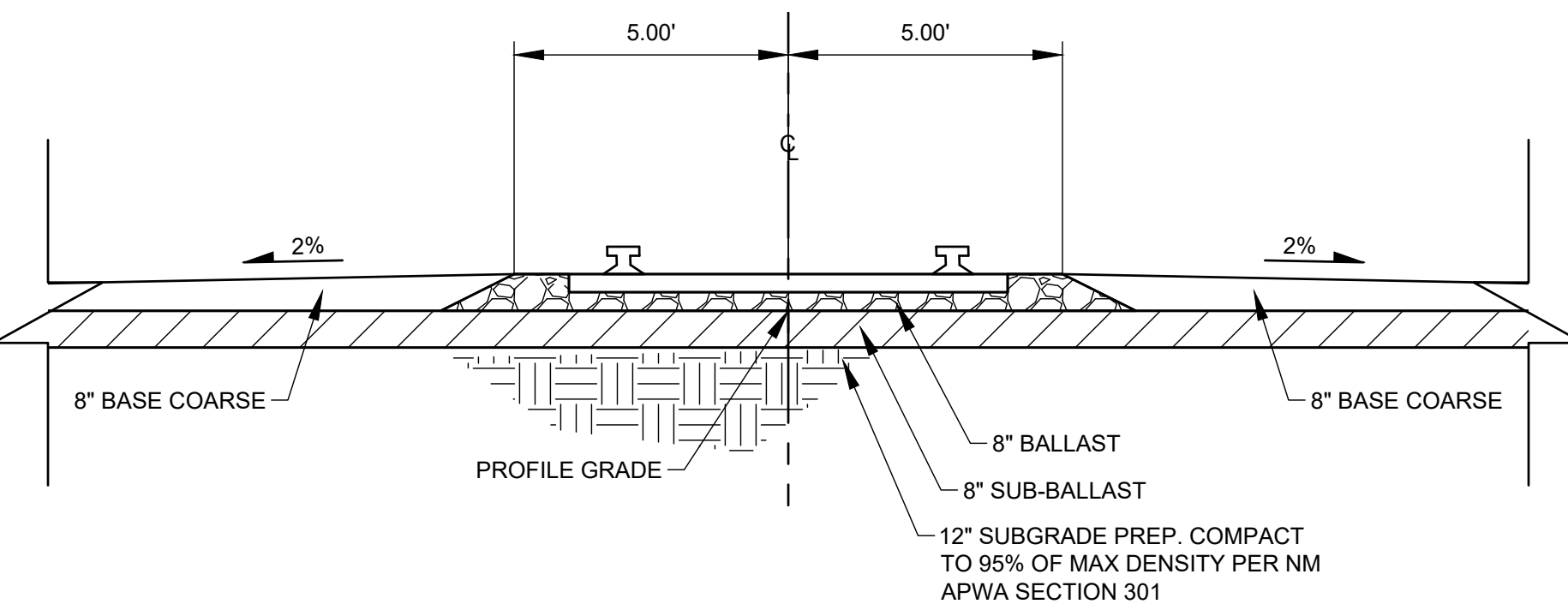
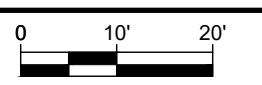
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SHEET NO: **C-319**

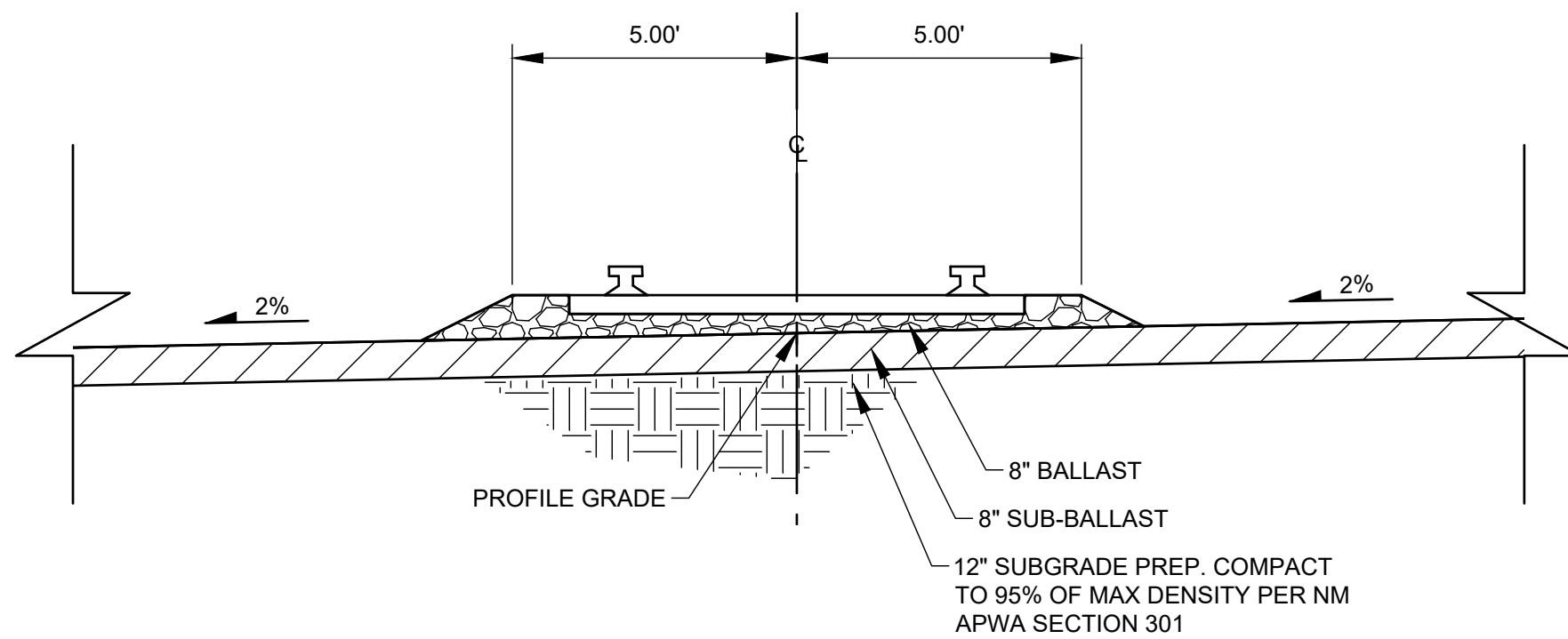
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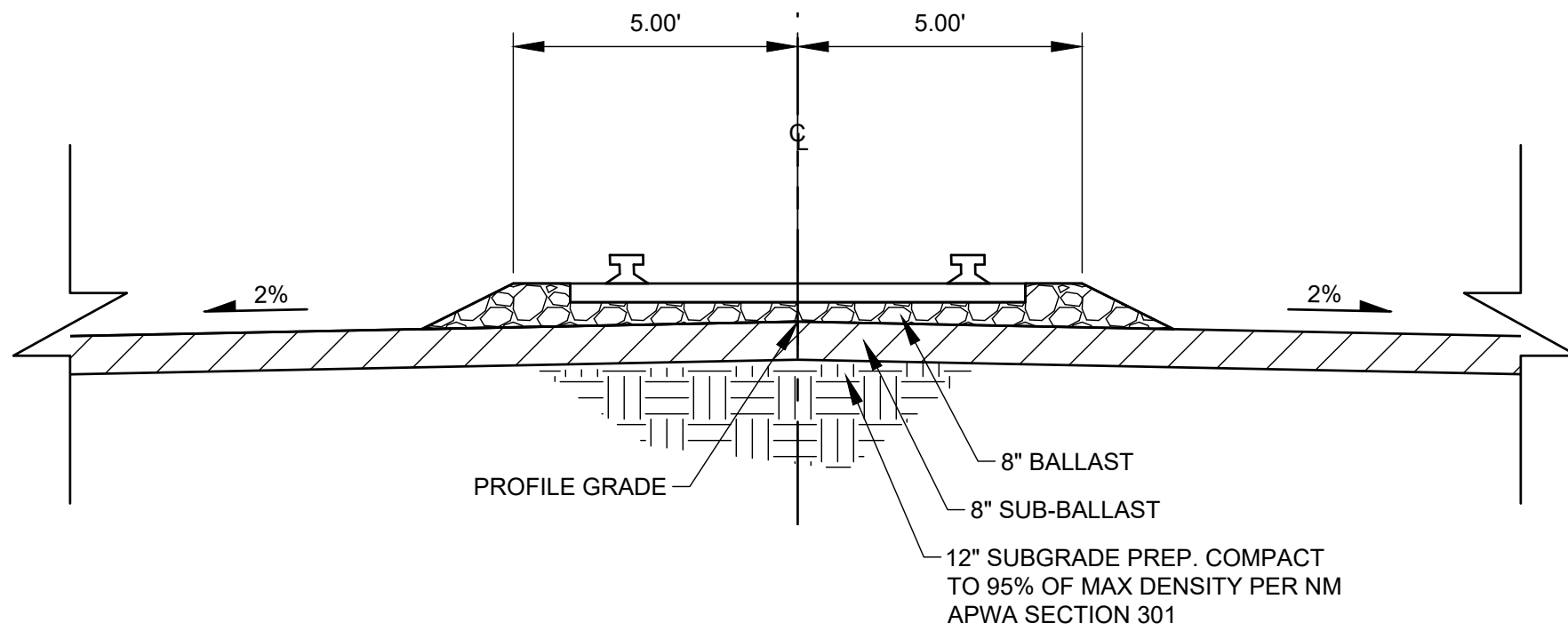
**F1** PREWITT INDUSTRIAL RAIL YARD TYPICAL SECTION  
SCALE: 1" = 20'



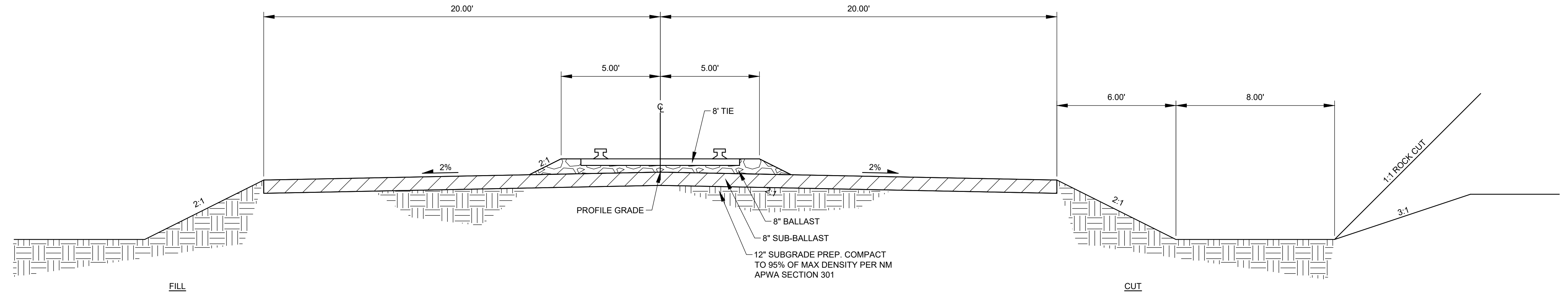
**D1** TRACK #1 & TRACK #2 RAIL YARD TYPICAL SECTION  
SCALE: 1" = 3'



**D4** ARRIVAL TRACK RAIL YARD TYPICAL SECTION  
SCALE: 1" = 3'



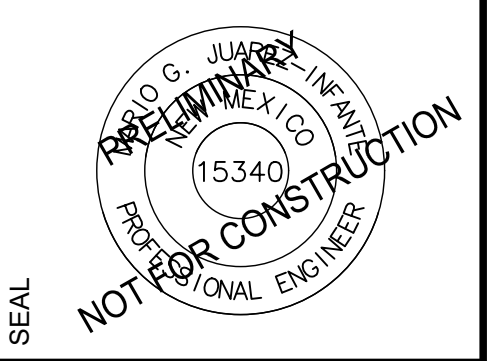
**D7** DEPARTURE TRACK RAIL YARD TYPICAL SECTION  
SCALE: 1" = 3'



**A1** ARRIVAL TRACK (SPUR TRACK) TYPICAL SECTION- STA: 1+00 TO 57+00  
SCALE: 1" = 3'

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PROJECT NAME  
**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
DESIGNED BY: MJJ  
DRAWN BY: JJC/MIT/WGC  
CHECKED BY: ---  
DATE: JUNE 2020

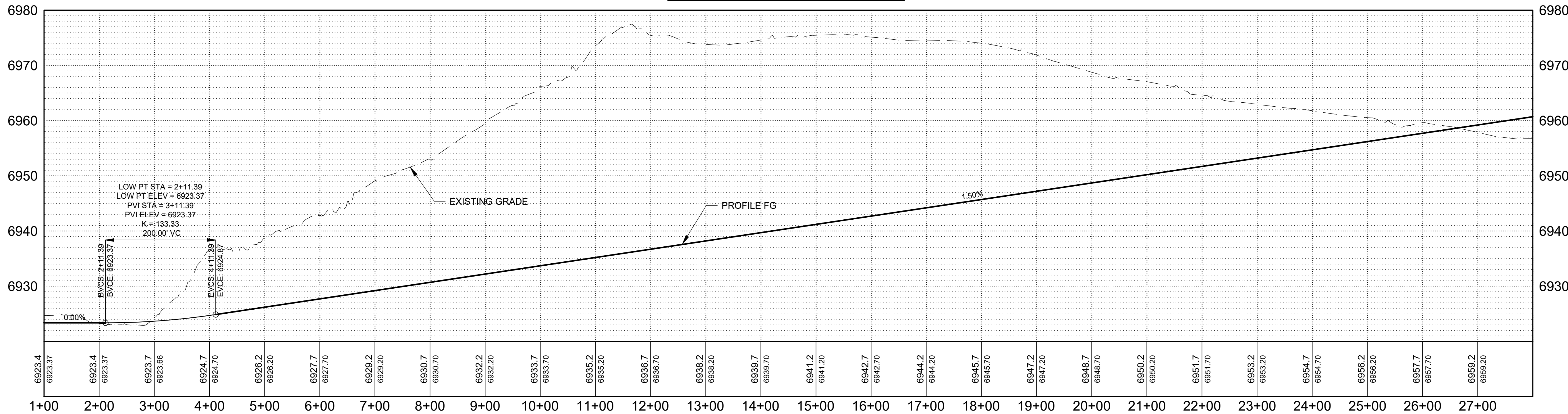
SHEET TITLE  
**RAIL TYPICAL SECTIONS**

SHEET NO:  
**C-320**

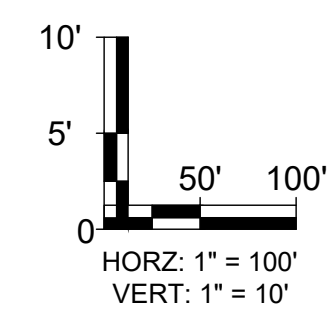
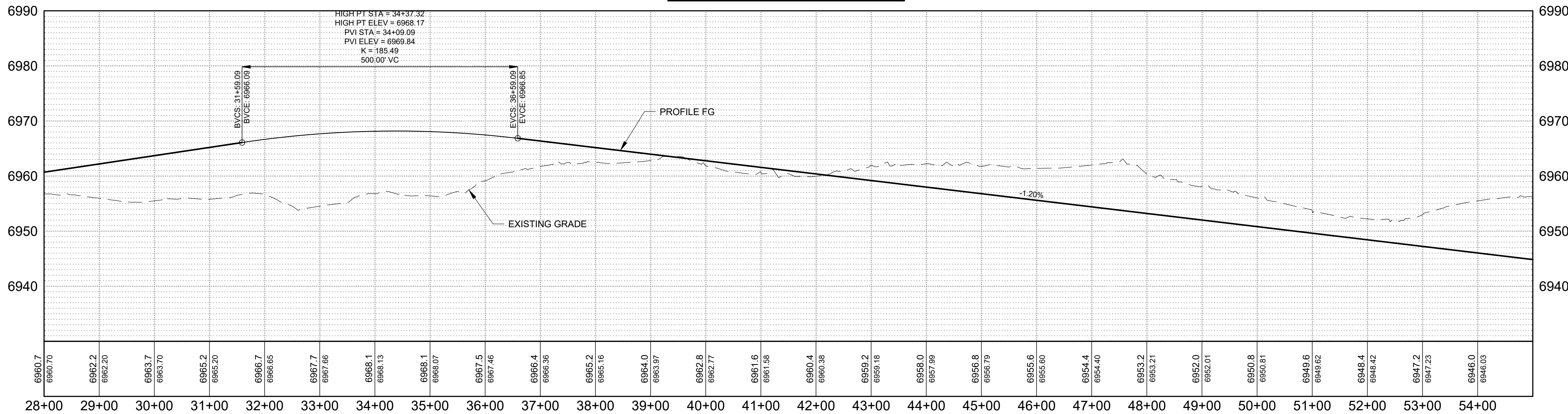
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ARRIVAL TRACK PROFILE VIEW

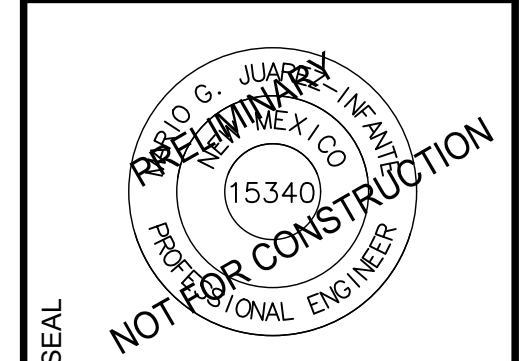


ARRIVAL TRACK PROFILE VIEW



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PROJECT NAME  
**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
 DESIGNED BY: MJJ  
 DRAWN BY: JJC/MITW/GC  
 CHECKED BY: ---  
 DATE: JUNE 2020

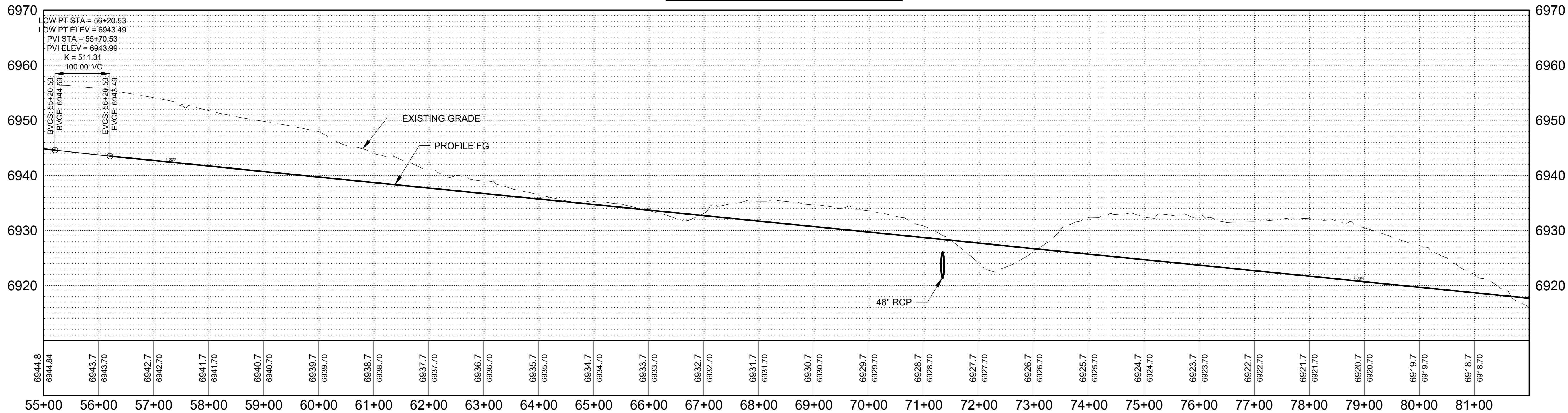
SHEET TITLE  
**ARRIVAL TRACK PROFILE**

SHEET NO:  
**C-321**

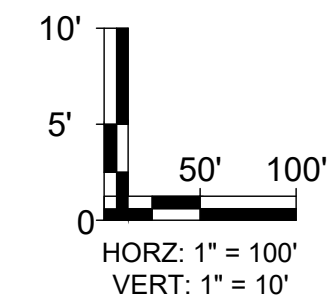
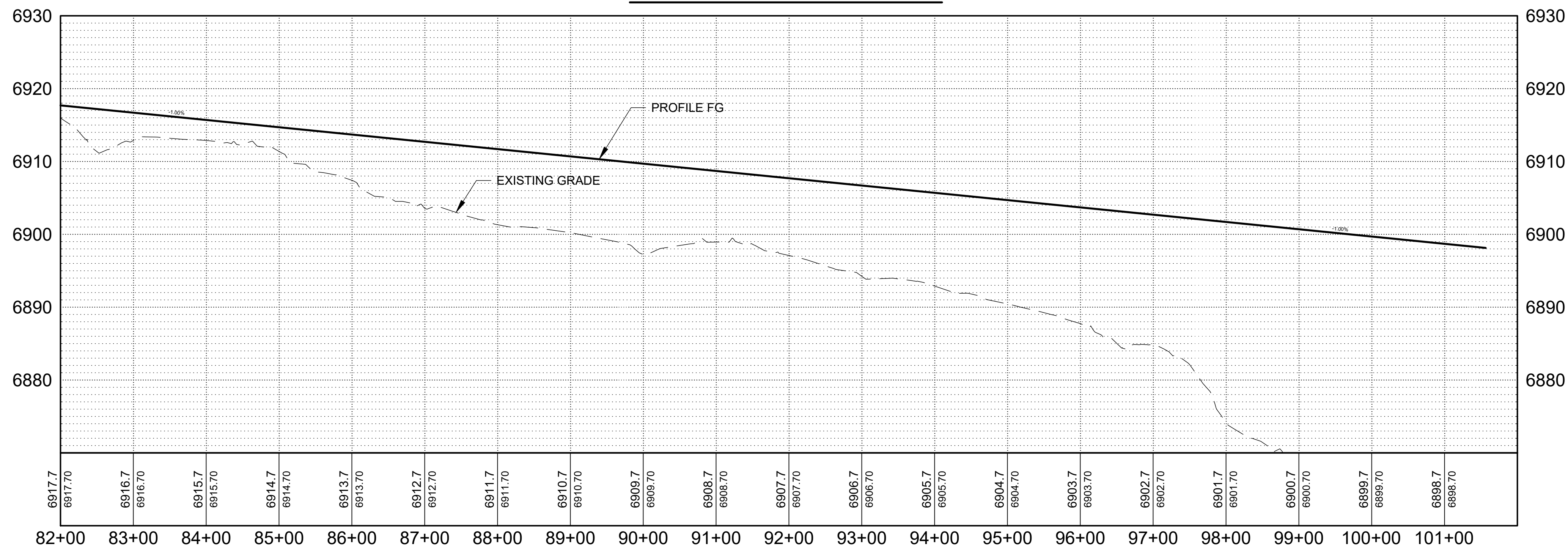


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ARRIVAL TRACK PROFILE VIEW

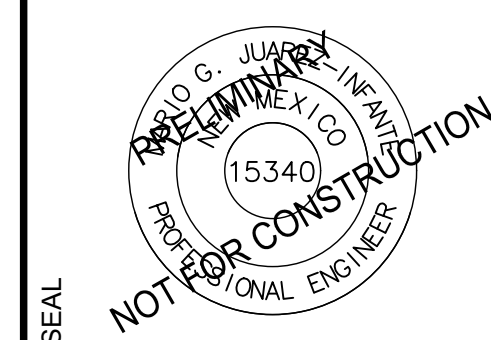


ARRIVAL TRACK PROFILE VIEW



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PROJECT NAME  
**PREWITT INDUSTRIAL PARK**

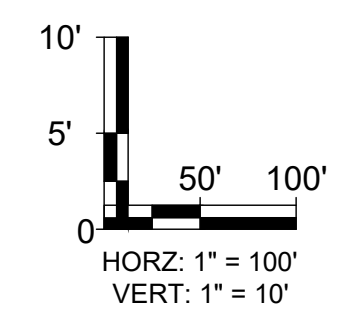
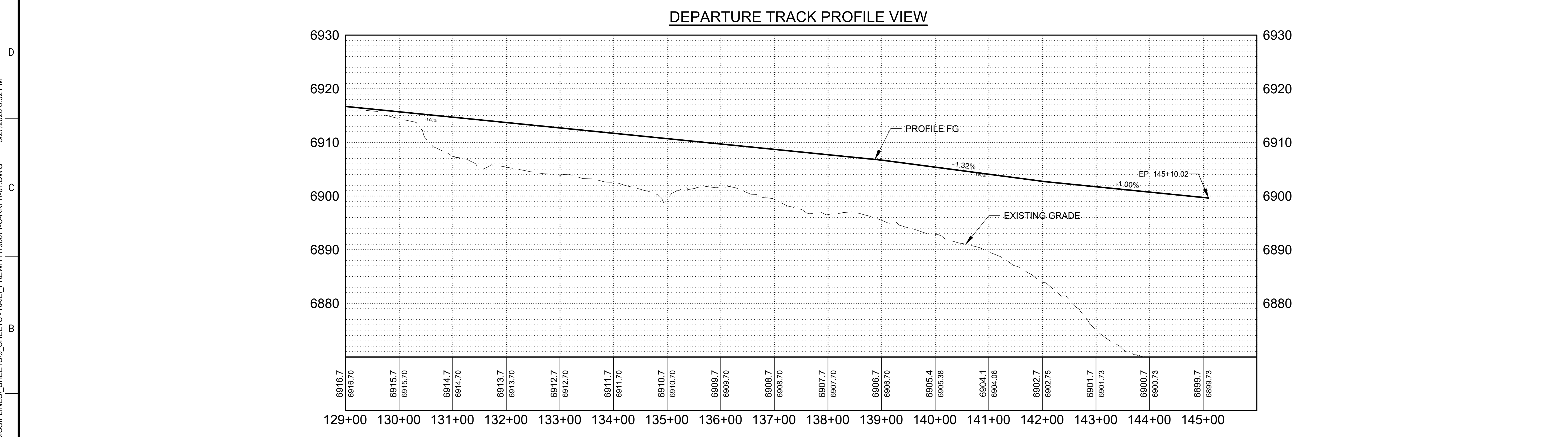
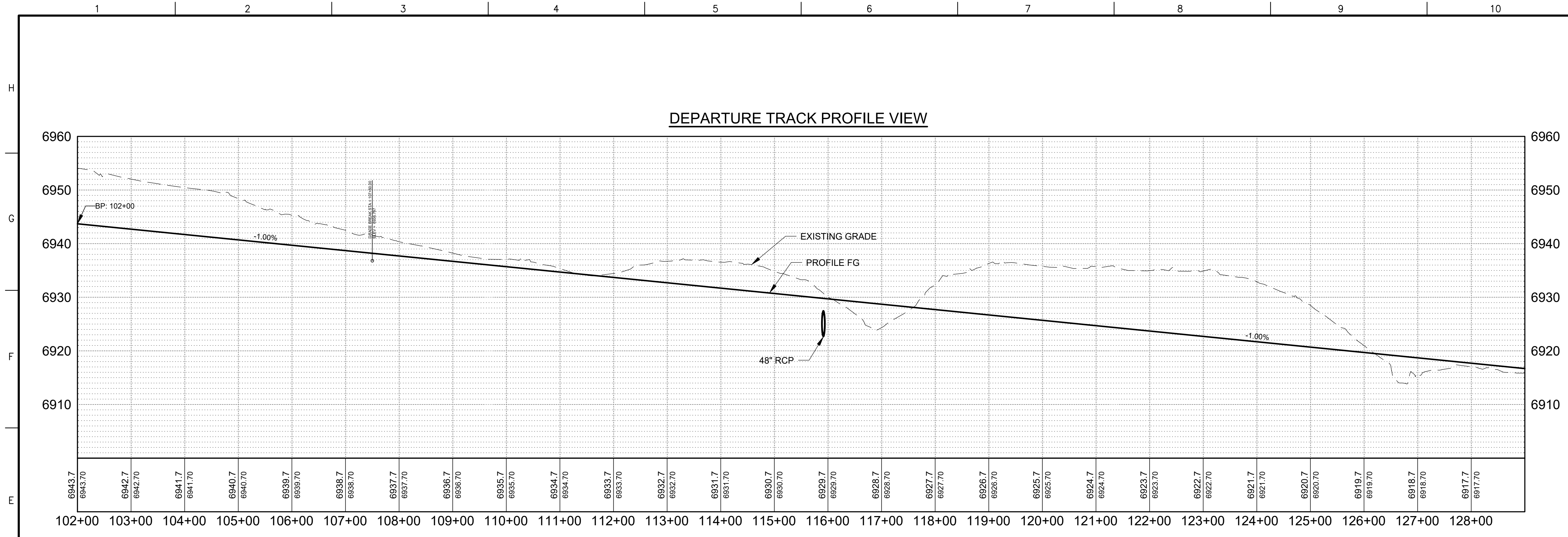
REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
 DESIGNED BY: MJJ  
 DRAWN BY: JJC/MIT/WGC  
 CHECKED BY: ---  
 DATE: JUNE 2020

SHEET TITLE  
**ARRIVAL TRACK PROFILE**

SHEET NO:  
**C-322**

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PROFESSIONAL ENGINEER

PROJECT NAME

**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
 DESIGNED BY: MJI  
 DRAWN BY: JJC/MITW/GC  
 CHECKED BY: ---  
 DATE: JUNE 2020

SHEET TITLE

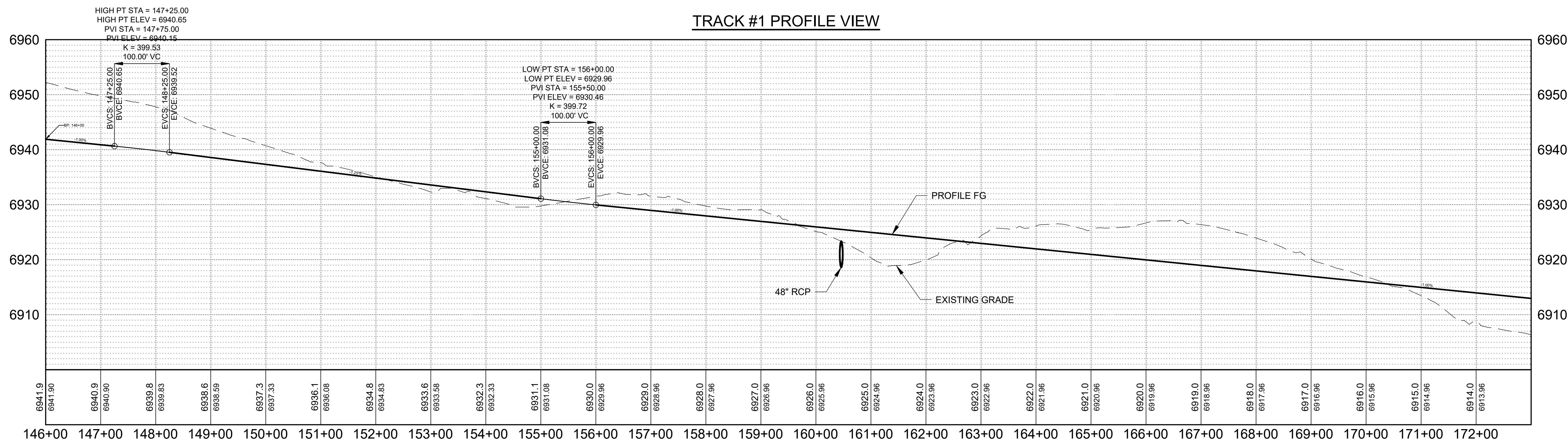
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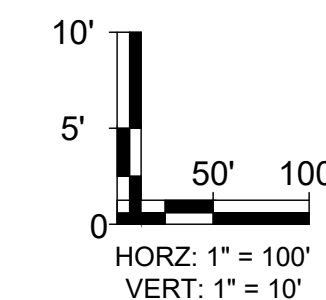
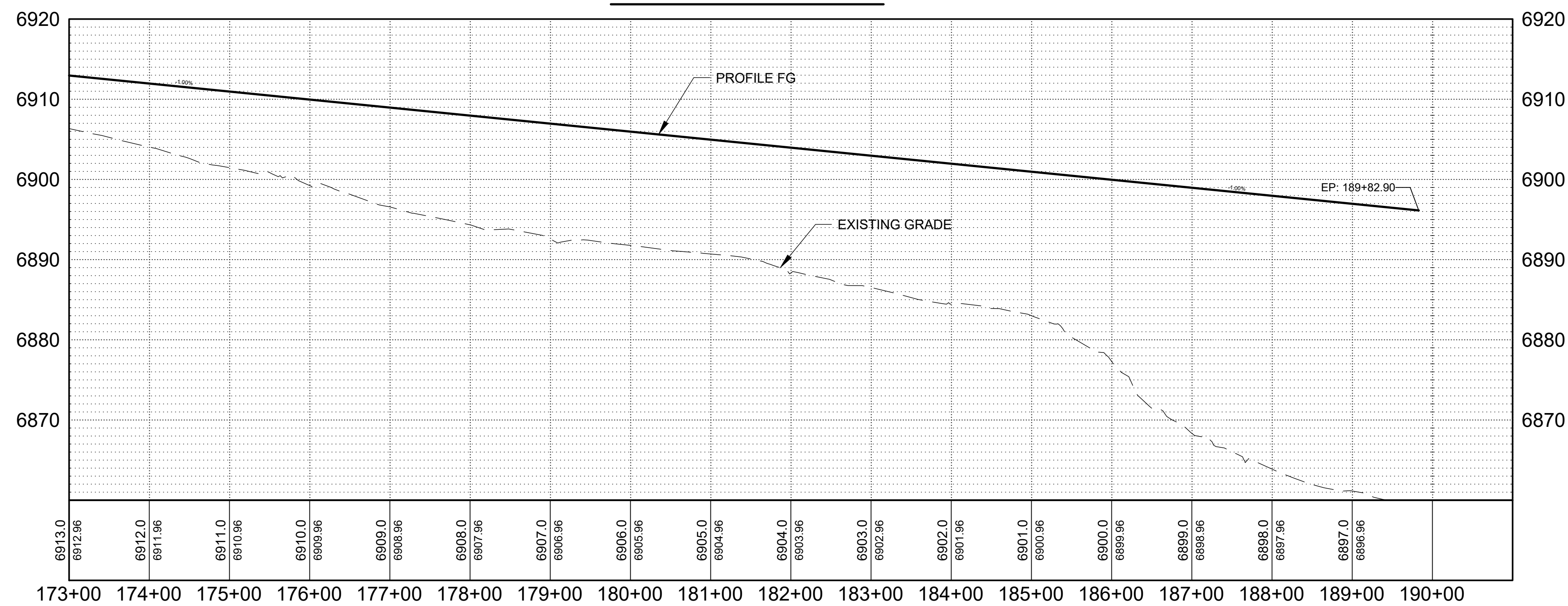
**C-323**

H  
G  
F  
E  
D  
C  
B  
A

TRACK #1 PROFILE VIEW



TRACK #1 PROFILE VIEW



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PROFESSIONAL ENGINEER

15340

PROJECT NAME  
**PREWITT INDUSTRIAL PARK**

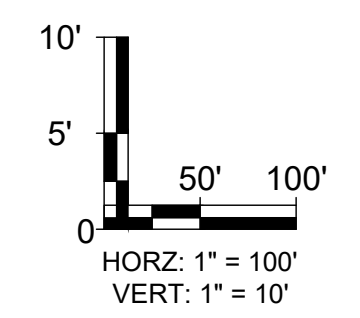
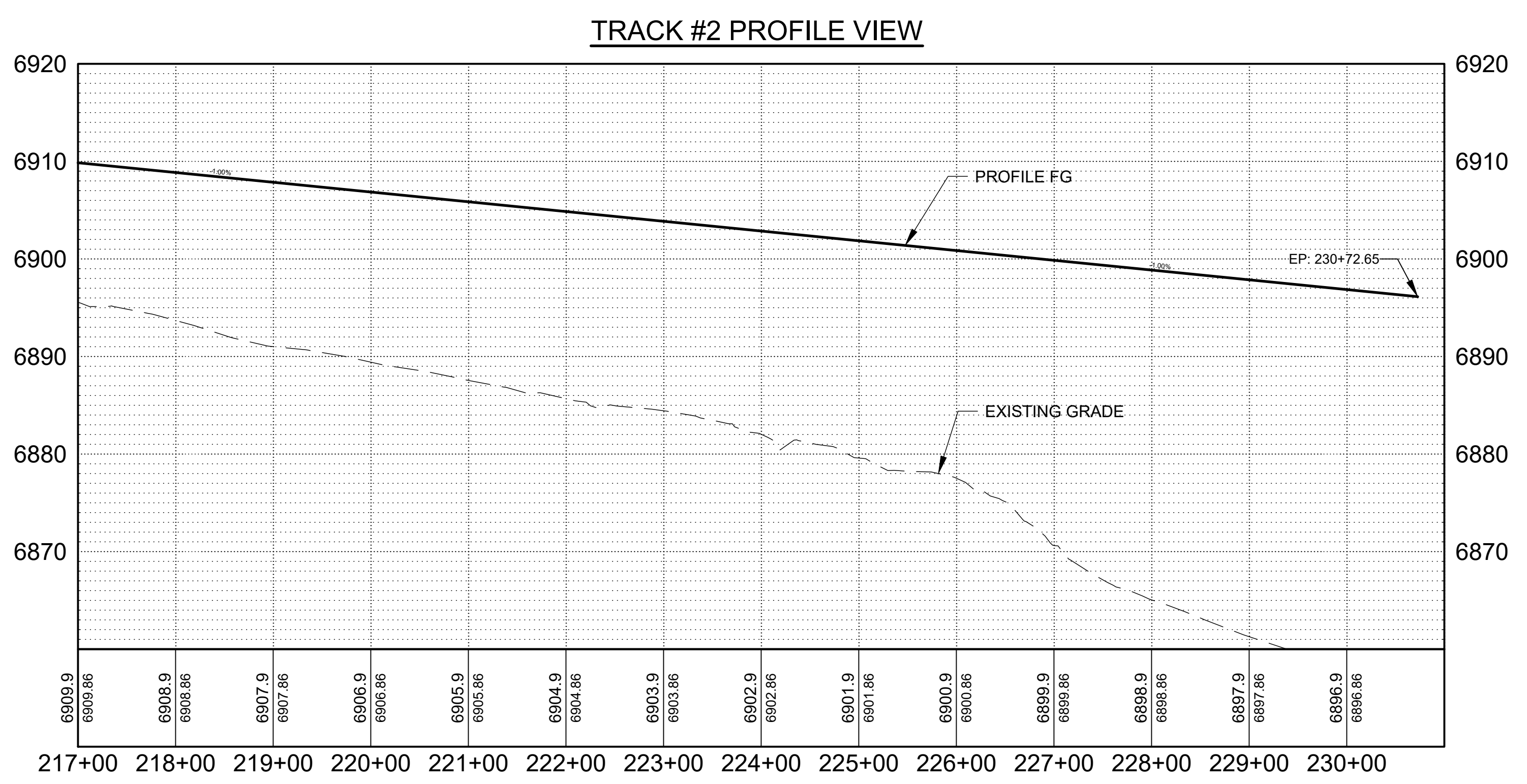
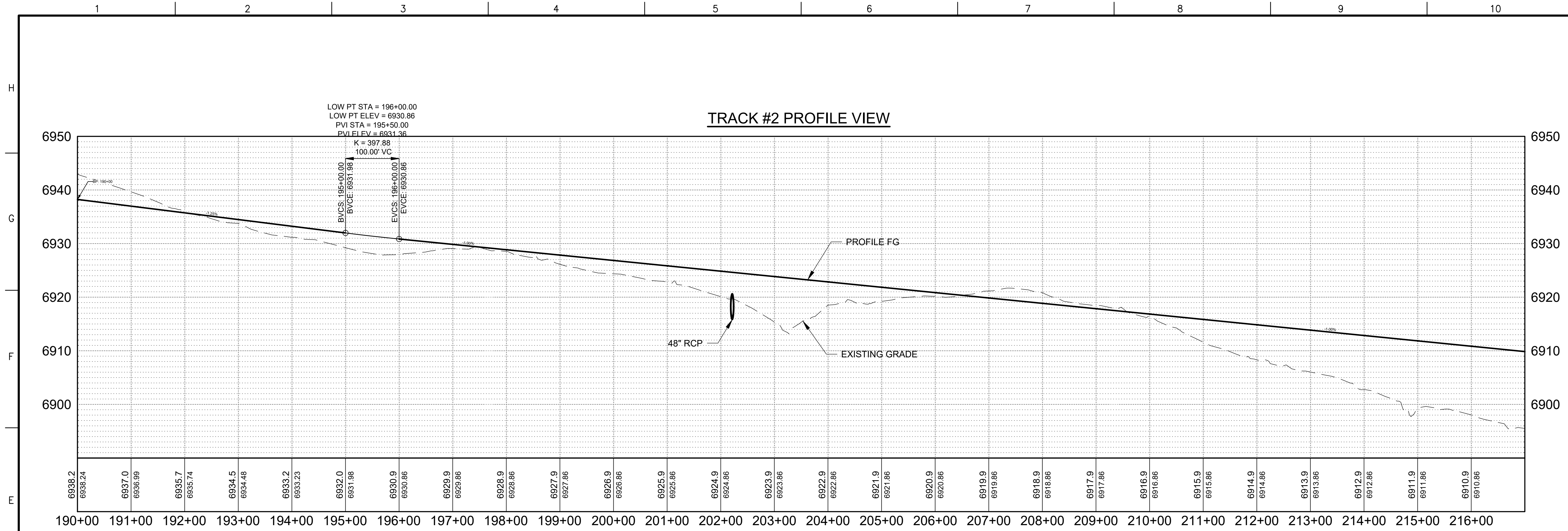
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PROJECT NO: 19-600-071  
DESIGNED BY: MJI  
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CHECKED BY: ---  
DATE: JUNE 2020

SHEET TITLE  
**TRACK #1 PROFILE**

SHEET NO:  
**C-324**

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PROFESSIONAL ENGINEER

PROJECT NAME

**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
 DESIGNED BY: MJI  
 DRAWN BY: JJC/MITW/GC  
 CHECKED BY: ---  
 DATE: JUNE 2020

SHEET TITLE

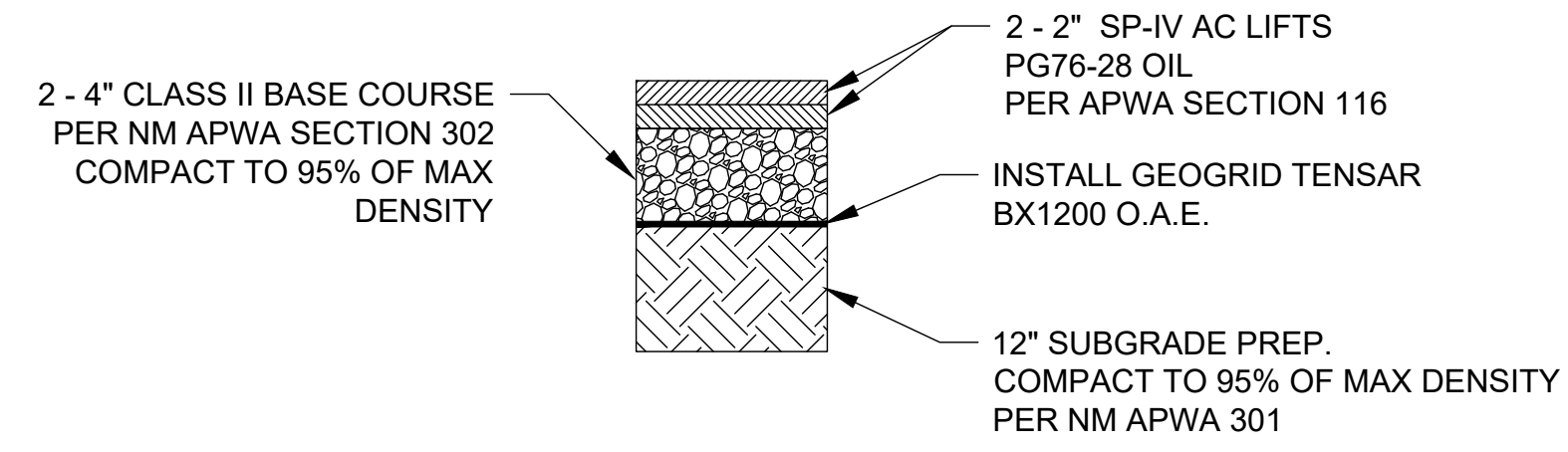
**TRACK #2 PROFILE**

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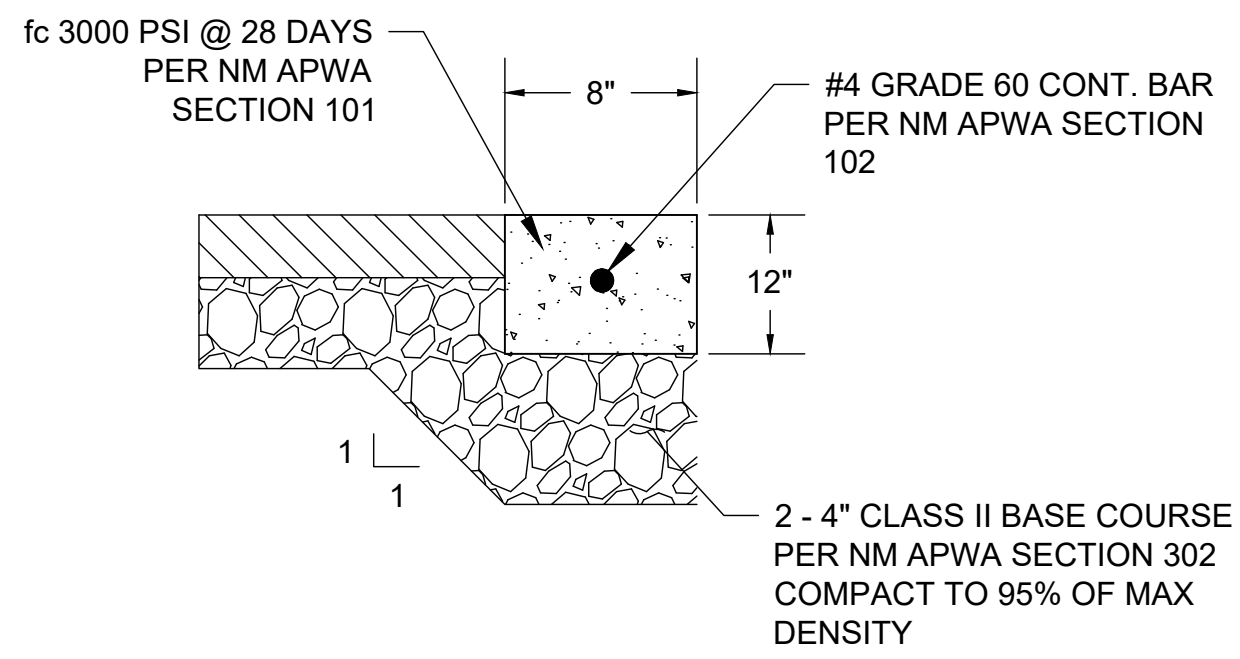
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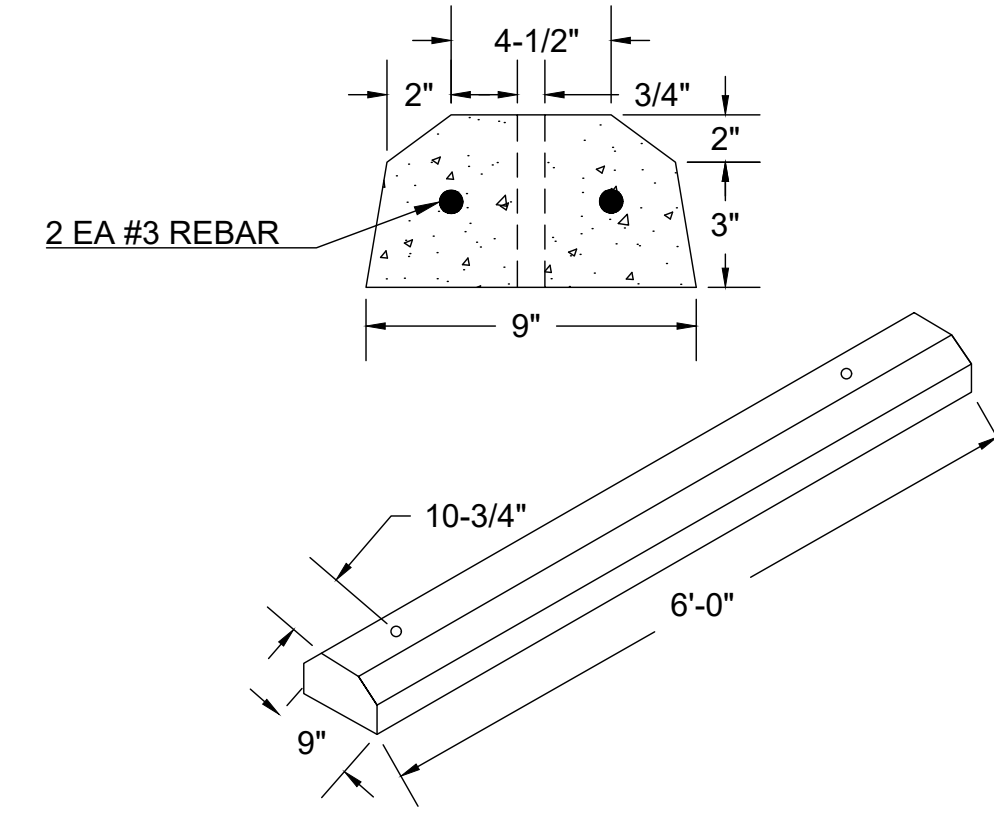
**G1** PARKING LOT PAVEMENT SECTION DETAIL  
N.T.S.



**G5** 8" WIDE CONCRETE EDGE DETAIL  
1" = 1"

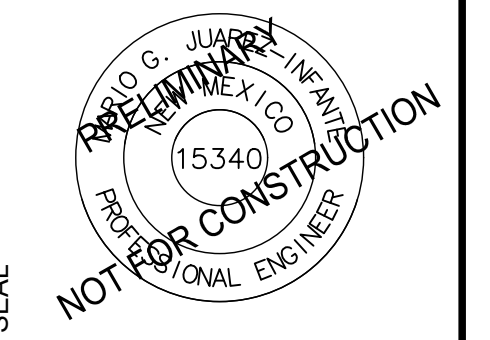


**G8** CONCRETE BUMPER  
1" = 1"



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PROJECT NAME  
**PREWITT INDUSTRIAL PARK**

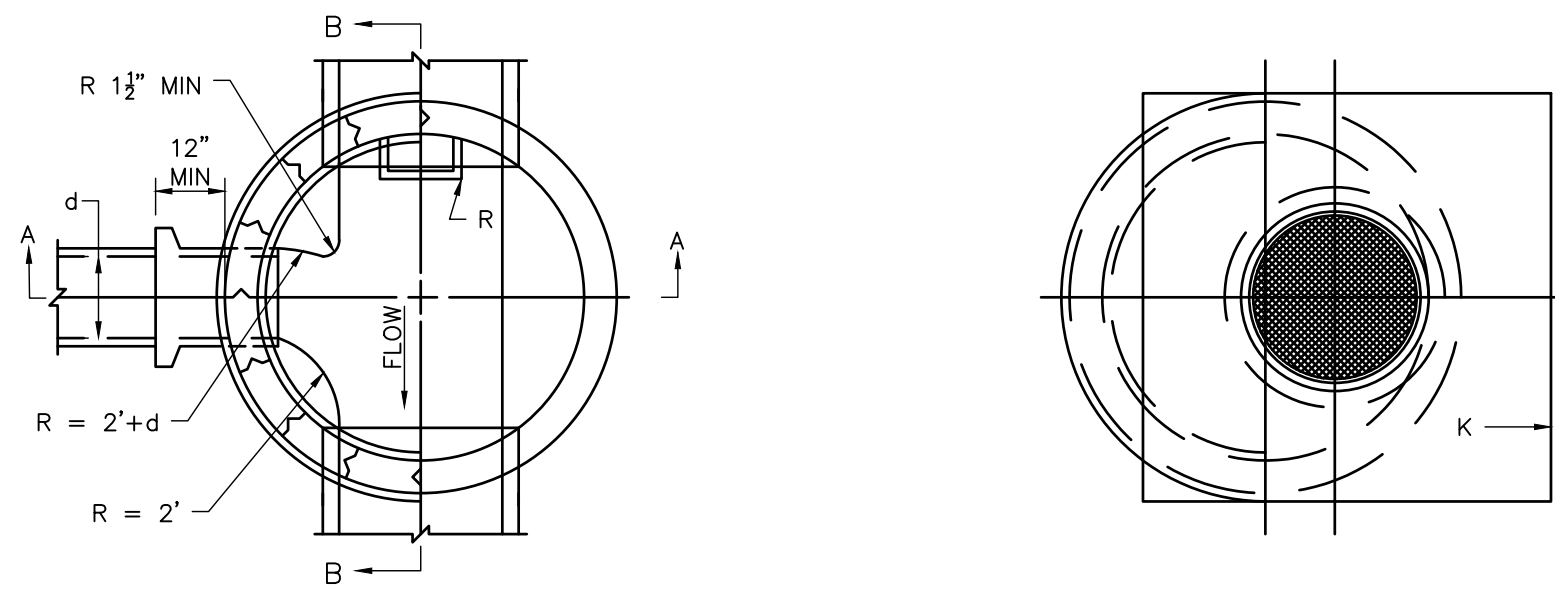
REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
DESIGNED BY: MJI  
DRAWN BY: JJC/MIT/WGC  
CHECKED BY: ---  
DATE: JUNE 2020

SHEET TITLE  
**MISCELLANEOUS  
DETAILS**

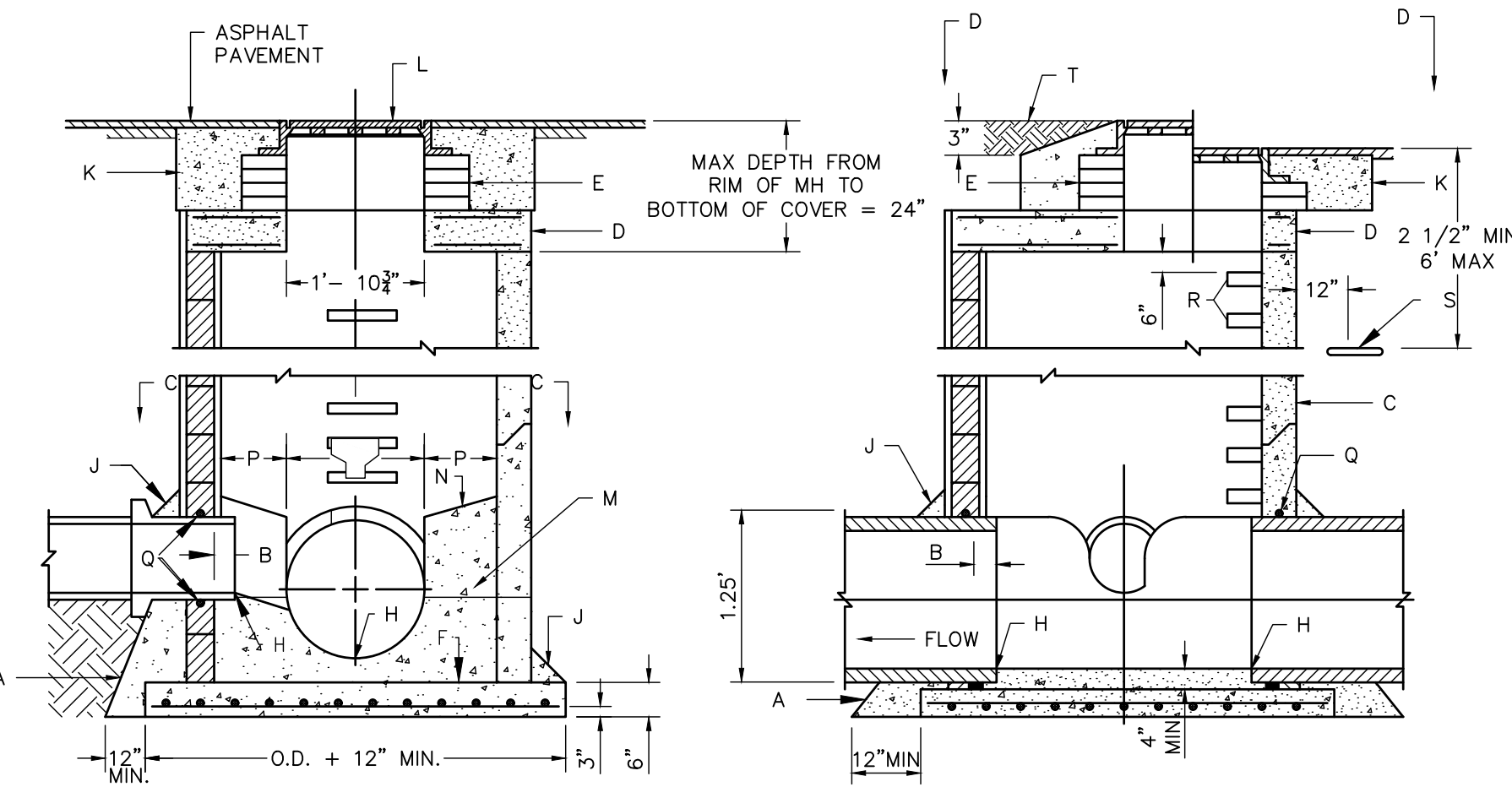
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PLAN AT C-C

PLAN AT D-D



CROSS SECTION A-A

CROSS SECTION B-B

**E1** SEWER MANHOLE TYPE "C" STD. DWG. 2101

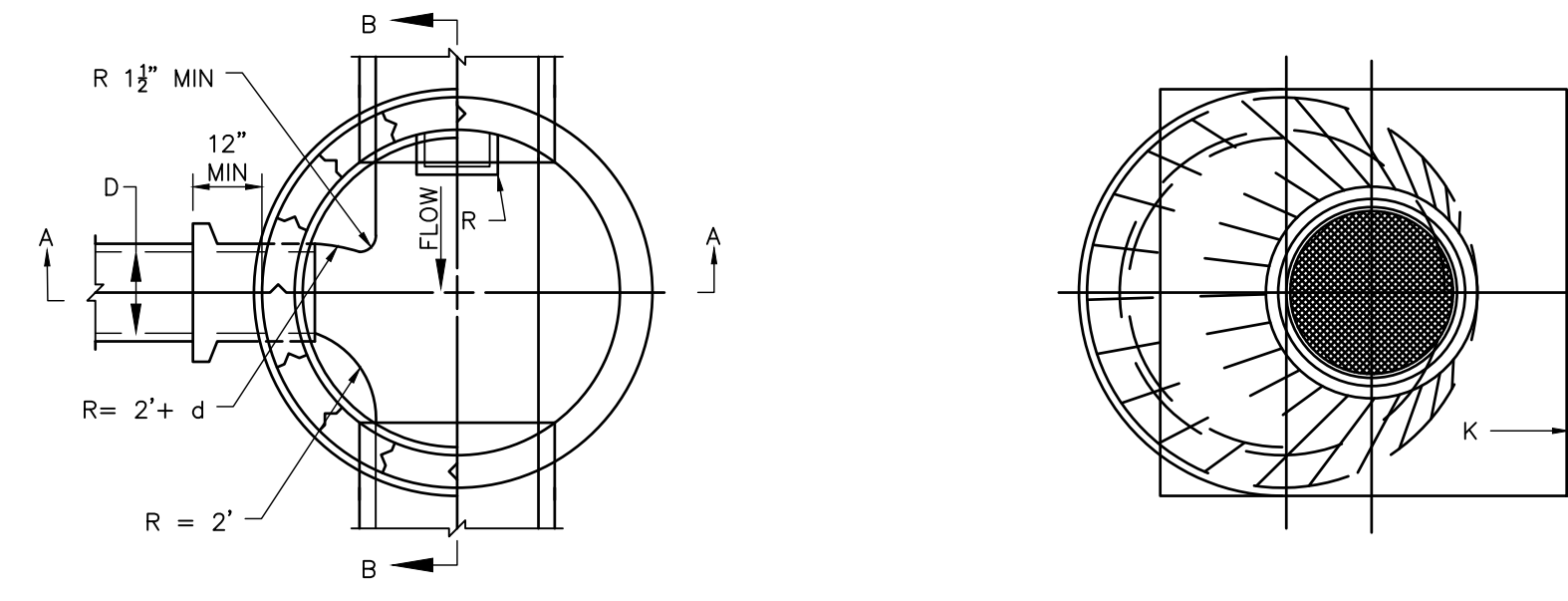
NTS

**GENERAL NOTES:**

1. USE TYPE C M.H. FOR DEPTHS OF LESS THAN 6' MEASURED FROM INV. TO RIM.
2. CONTRACTOR HAS OPTION TO CONSTRUCT TYPE C M.H. IN LIEU OF TYPE E M.H. FOR DEPTHS OF 6' OR MORE.
3. DESIGN APPLIES TO 4' & 6' I.D. MANHOLES.
4. M.H. GREATER THAN 18' IN DEPTH SHALL ONLY BE CONSTRUCTED PRECAST CONCRETE SECTIONS.
5. USE NON-SHRINK GROUT FOR JOINTS, FILLETS AND PENETRATIONS.
6. COMPACT ALL BACKFILL AROUND MANHOLE TO 95%.
7. POSITION M.H. OPENING OVER THE UPSTREAM SIDE OF MAIN LINE.

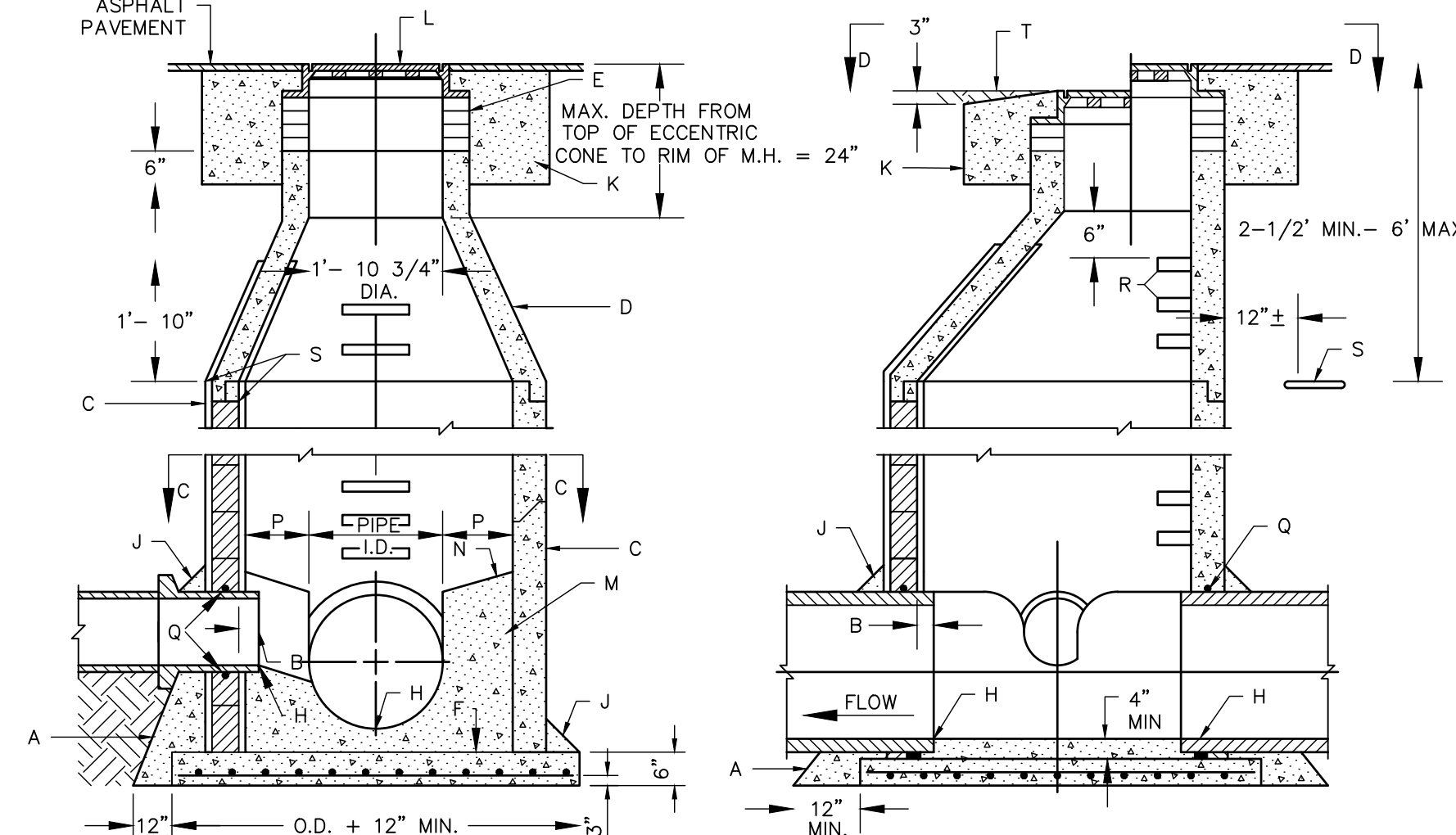
**CONSTRUCTION NOTES:**

- A. CONCRETE PIPE SUPPORTS SHALL EXTEND OUTSIDE OF M.H. TO BELL OF FIRST JOINT & SHALL CRADLE PIPE TO SPRING LINE. NOT APPLICABLE FLEXIBLE PIPE.
- B. PIPE PENETRATION INTO MANHOLE SHALL BE FLUSH TO 2" MAX. MEASURED AT SPRINGLINE OF PIPE.
- C. MANHOLE MAY BE CONSTRUCTED OF CONCRETE BLOCK, GR. MS BRICK, POURED CONCRETE OR PRECAST REINFORCED CONCRETE IF BLOCK OR BRICK PLASTER INSIDE AND OUT WITH 1/2" MORTAR. SEE DWG. 2118 FOR DETAILS.
- D. PRECAST CONCRETE COVER. SEE DWG. 2107.
- E. USE MAX. 4 COURSES GR. MS BRICK ON UNPAVED STREET FOR FUTURE ADJ. OF M.H. FRAME TO PAVEMENT GRADE. PLASTER INSIDE WITH 1/2" MORTAR.
- F. CONCRETE BASE TO BE POURED IN PLACE USING NO. 4 BARS AT 6" O.C. EA. WAY FOR M.H. DEPTH OF 16' OR GREATER. NO. 4 BARS AT 12" O.C. EA. WAY FOR M.H. LESS THAN 16' IN DEPTH.
- H. INV. ELEV. OF STUB OR LATERAL AS SHOWN ON PLANS.
- J. 6" GROUT FILLET ON UPPER HALF OF PIPE AND AROUND BASE.
- K. USE A 5' X 5' CONCRETE PAD IN ALL AREAS.
- L. FRAME AND COVER. SEE DWG. 2110.
- M. CONCRETE FILL, 3000 PSI. N. SLOPE 1" PER FT. FROM PIPE CROWN.
- P. SHELF TO BE 9" WIDE MIN.
- Q. APPROVED WATERSTOP TO BE COMPATIBLE WITH TYPE OF PIPE.
- R. STEPS TO BE INSTALLED AS PER SPEC. SECTION 920.4.7.
- S. EMD (IN UNPAVED AREAS).
- T. IN UNPAVED AREAS SET FRAME TO GRADE AND SLOPE TOP OF PAD.



PLAN AT C-C

PLAN AT D-D



CROSS SECTION A-A

CROSS SECTION B-B

**E6** SEWER MANHOLE TYPE "E" STD. DWG. 2102

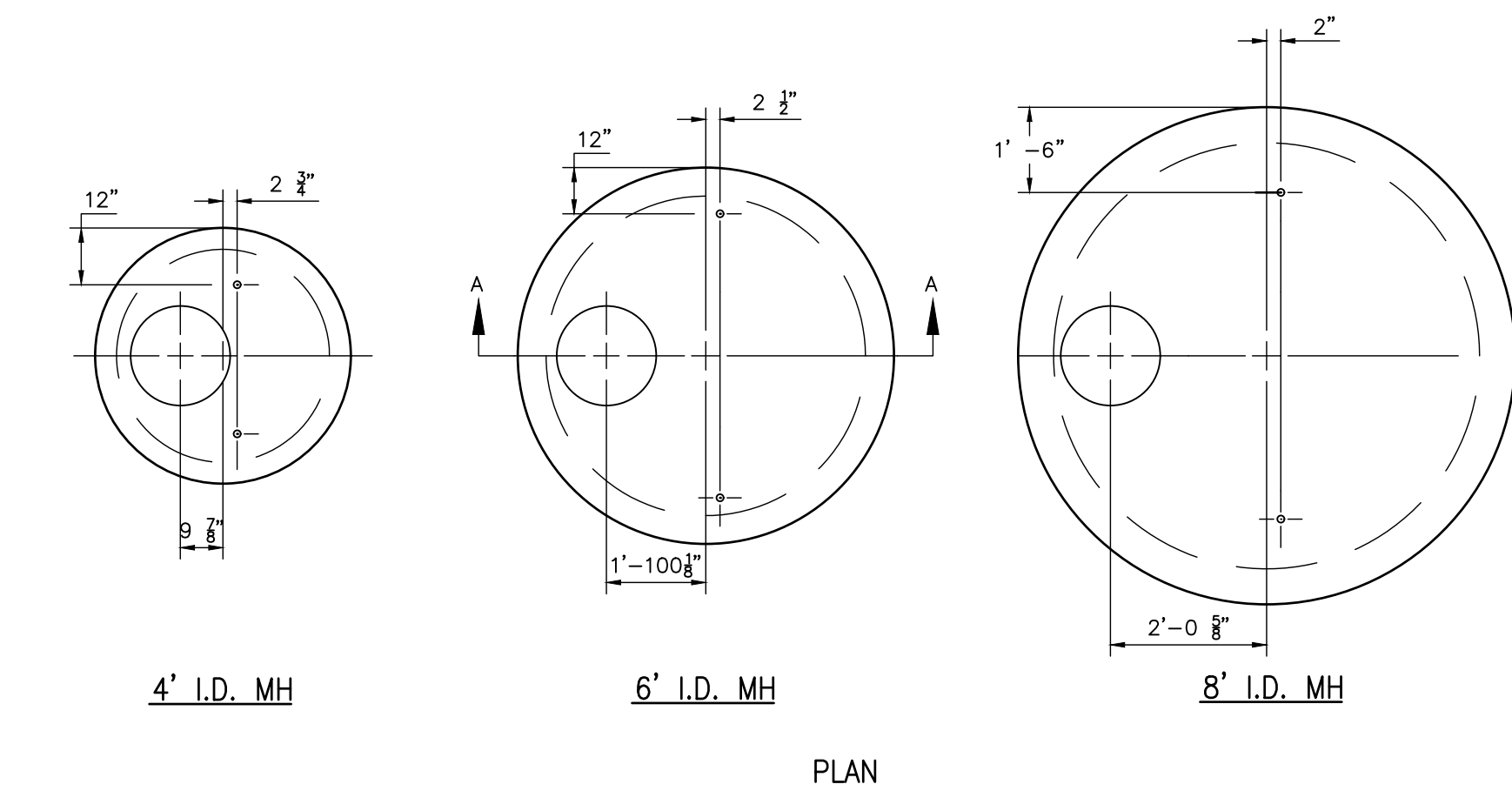
NTS

**GENERAL NOTES:**

1. TYPE E M.H. NOT TO BE USED FOR DEPTHS LESS THAN 6' MEASURED FROM INV. TO RIM.
2. M.H. GREATER THAN 18' IN DEPTH SHALL BE OF PRECAST CONC. SECTIONS ONLY.
3. DESIGN APPLIES TO 4' AND 6' I.D. MANHOLES.
4. USE NON-SHRINK GROUT FOR JOINTS, FILLETS & PIPE PENETRATIONS.
5. COMPACT ALL BACKFILL AROUND M.H. TO 95% POSITION M.H. OPENING OVER THE UPSTREAM SIDE OF MAIN LINE.

**CONSTRUCTION NOTES:**

- A. CONCRETE PIPE SUPPORTS SHALL EXTEND OUTSIDE OF M.H. TO BELL OF FIRST JOINT AND SHALL CRADLE PIPE TO SPRING LINE.
- B. PIPE PENETRATION INTO MANHOLE SHALL BE FLUSH TO 2" MAX. MEASURED AT SPRINGLINE OF PIPE.
- C. MANHOLE MAY BE CONSTRUCTED OF CONCRETE BLOCK, GR. MS BRICK, POURED CONCRETE OR PRECAST REINFORCED CONCRETE, IF BLOCK OR BRICK PLASTER INSIDE AND OUT WITH 1/2" MORTAR, SEE DWG. 2118 FOR DETAILS.
- D. PRECAST REINFORCED CONCRETE ECCENTRIC CONE. THE CONTRACTOR SHALL PROVIDE SHOP DWG. FOR APPROVAL.
- E. USE MAX. 4 COURSES GR. MS BRICK ON UNPAVED STREET FOR FUTURE ADJ. OF FRAME TO PAVEMENT GRADE. PLASTER INSIDE WITH 1/2" MORTAR.
- F. BASE TO BE POURED IN PLACE USING NO. 4 BARS AT 6" O.C. EA. WAY FOR M.H. DEPTH OF 16' OR GREATER. NO. 4 BARS AT 12" O.C. EA. WAY FOR M.H. LESS THAN 16' DEEP.
- H. INV. ELEV. OF STUB OR LATERAL AS SHOWN ON PLANS.
- J. 6" GROUT FILLET ON UPPER HALF OF PIPE AND AROUND BASE.
- K. USE A 5' X 5' CONCRETE PAD IN ALL AREAS.
- L. M.H. FRAME AND COVER. SEE DWG. 2110.
- M. CONCRETE FILL, 3000 PSI.
- N. SLOPE 1" PER FT. FROM PIPE CROWN.
- P. SHELF TO BE 9" WIDE MIN.
- Q. APPROVED WATERSTOP TO BE WITH TYPE OF PIPE.
- R. STEPS TO BE INSTALLED AS PER SPEC. SECTION 920.4.7.
- S. EMD (IN UNPAVED AREAS).
- T. IN UNPAVED AREAS SET FRAME TO GRADE AND SLOPE TOP OF PAD.

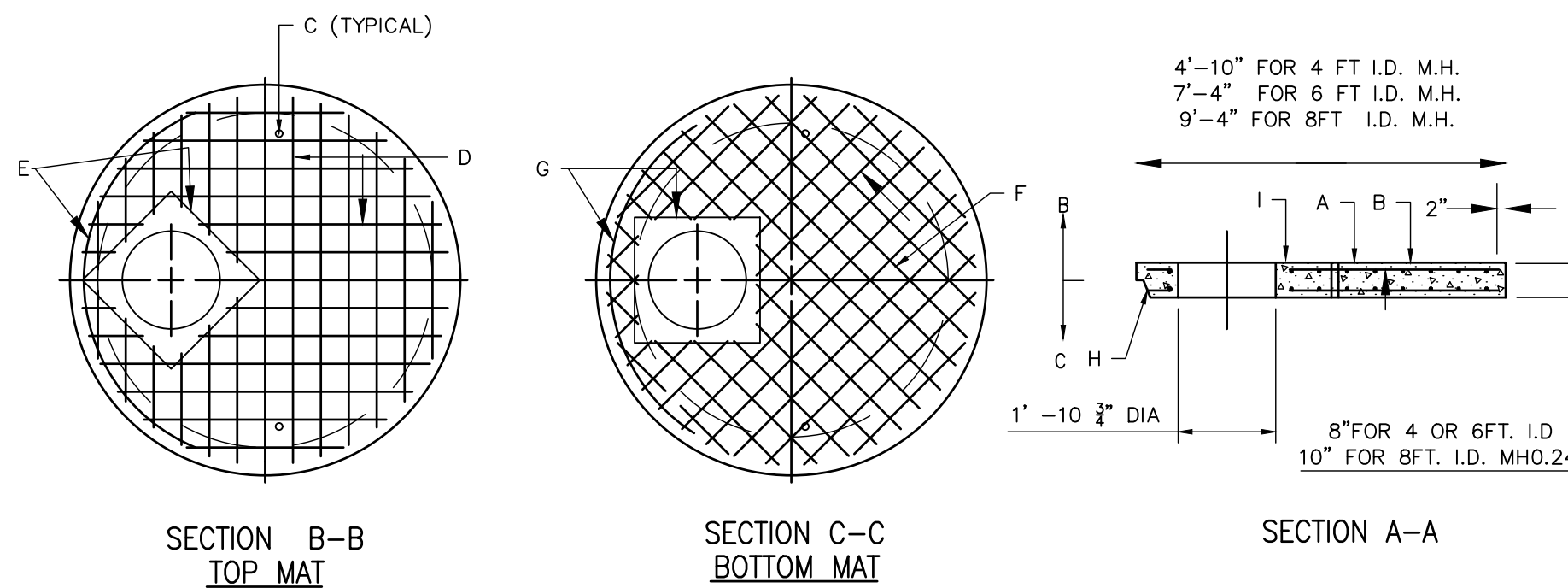


4' I.D. MH

6' I.D. MH

8' I.D. MH

PLAN



SECTION B-B TOP MAT

SECTION C-C BOTTOM MAT

SECTION A-A

**A1** SEWER CONCRETE MANHOLE TYPE "C" STD. DWG. 2107

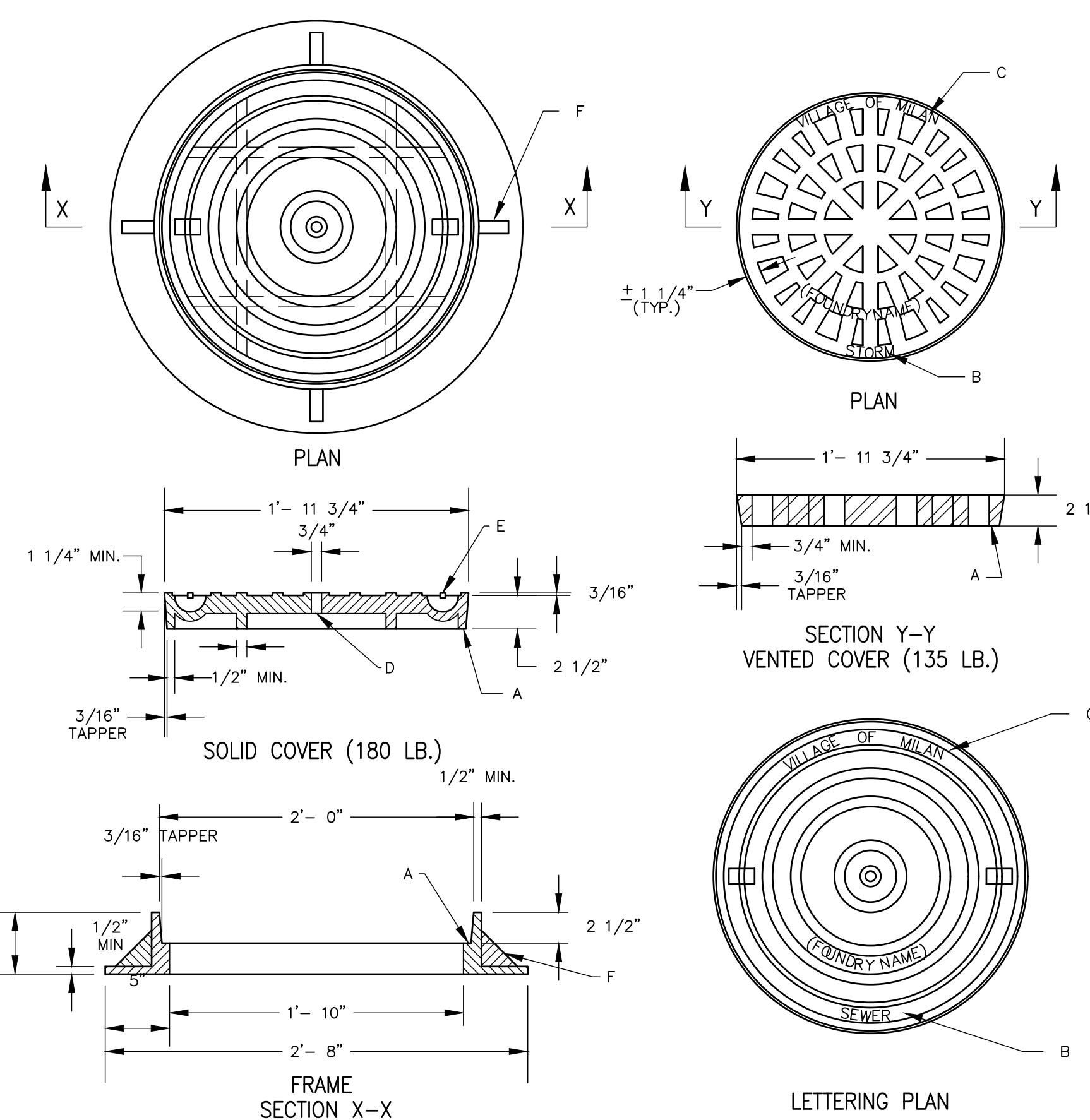
NTS

**CONSTRUCTION NOTES:**

1. ALL MANHOLES 20' DEEP OR DEEPER WILL REQUIRE AN INTERMEDIATE LANDING IN THE MANHOLE BARREL. TYPE "C" MANHOLE COVERS SHALL BE USED AS INTERMEDIATE LANDINGS.
2. INTERMEDIATE LANDINGS SHALL BE LOCATED AT THE MID POINT + OR - 2 FEET OF THE HEIGHT OF THE MANHOLE. AT NO TIME SHALL AN INTERMEDIATE LANDING OR A SIZE ADJUSTMENT TOP SHOULD BE INSTALLED CLOSER THAN 8" UP FROM THE INVERT OF THE MANHOLE.

**CONSTRUCTION NOTES:**

- A. PRECAST REINF. CONC. MH COVER.
- B. ALL BARS TO HAVE 1/2" MIN. COVER.
- C. 1" PIPE SLEEVE VERTICALLY THROUGH COVER. D. TOP MAT NO. 4 BARS AT 6" O.C. EA. WAY FOR 4, 6 & 8 FT. I.D. MH. E. NO. 4 BARS. BOTTOM MAT NO. 4 BARS 6" O.C. EA. WAY FOR 4 & 6 FT. I.D. MH. NO. 8 BARS 8" O.C. EA. WAY FOR 8 FT. I.D. MH. G. NO. 4 BARS FOR 4 & 6 FT. I.D. MH. NO. 8 BARS FOR 8 FT. I.D. MH.
- H. WHEN PRECAST M.H. SECTIONS ARE USED, COVER SHALL BE MODIFIED TO SHAPE OF APPROPRIATE SIZE T & G JOINT. I. CONCRETE, SEE SECTION 101.



PLAN

PLAN

SOLID COVER (180 LB.)

SECTION Y-Y VENTED COVER (135 LB.)

SECTION X-X

LETTERING PLAN

**A6** SEWER MANHOLE FRAME AND COVERS STD. DWG. 2110

NTS

**GENERAL NOTES:**

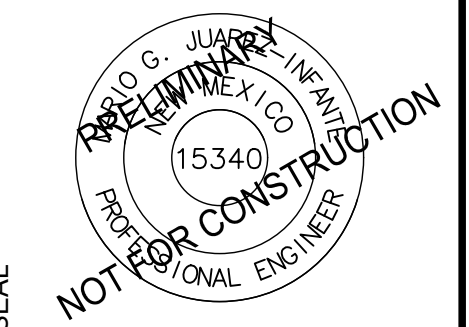
1. STANDARD CAST IRON M.H. FRAME AND COVER. WEIGHTS: COVER = 180 LBS., FRAME = 145 LBS. TOTAL = 325 LBS. (TOLERANCE = - 5%)
2. REFERENCE SPEC. SECTION 130.

**CONSTRUCTION NOTES:**

- A. MACHINED OR GROUND BEARING SURFACES.
- B. "SEWER", "WATER", OR "STORM" CAST ON COVER TO IDENTIFY SANITARY SEWER, WATER OR STORM DRAINAGE SYSTEMS RESPECTIVELY.
- C. LETTER SIZE TO BE 1" MIN. IN HEIGHT, TYPICAL.
- D. VENT HOLE REQUIRED.
- E. MONOLITHIC CAST IRON OR STEEL ROD INSERTS AT MANUFACTURER'S OPTION. IF INSERT IS PROVIDED IT MUST HAVE 3/16" MIN. COVER AND 3/4" END EMBEDMENT IN CASTING.
- F. GUSSETS OPTIONAL IF REQUIRED BY MANUFACTURER.

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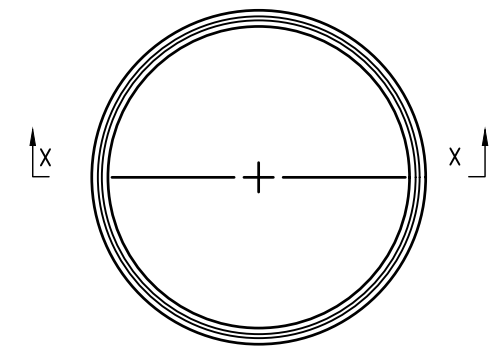
PROJECT NAME  
**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
 DESIGNED BY: MJI  
 DRAWN BY: JJC/MIT/WGC  
 CHECKED BY: ---  
 DATE: JUNE 2020

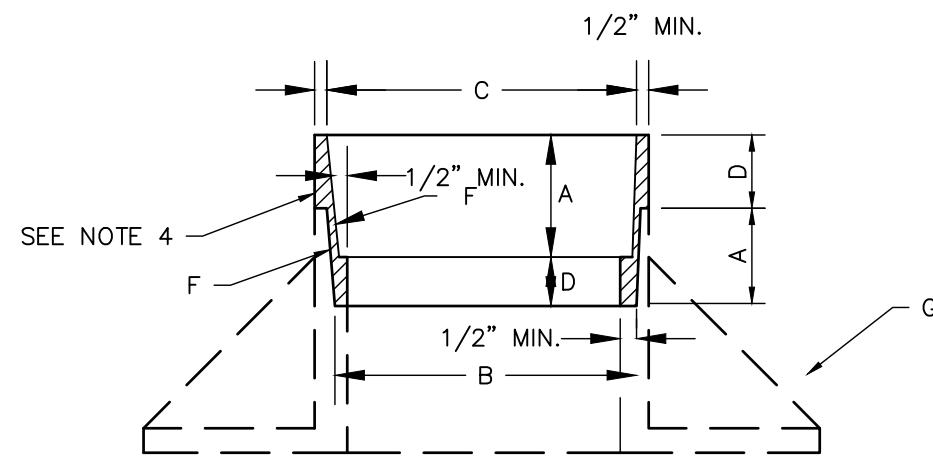
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**SEWER DETAILS**  
 SHEET NO:  
**C-501**

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COMMON NM APWA  
MH FRAME SIZES

A	B	C	D
2 3/8	23 1/2	23 5/8	
2 1/2	23 5/8	23 3/4	
2 5/8	23 5/8	23 3/4	
2	23 3/4	23 7/8	
2 1/4	23 3/4	23 7/8	
2 3/8	23 3/4	23 7/8	
2 1/2	23 3/4	23 7/8	
2 5/8	23 3/4	23 7/8	
2 3/4	23 3/4	23 7/8	
2 1/2	23 7/8	24	
1	24 7/8	25	1 1/4



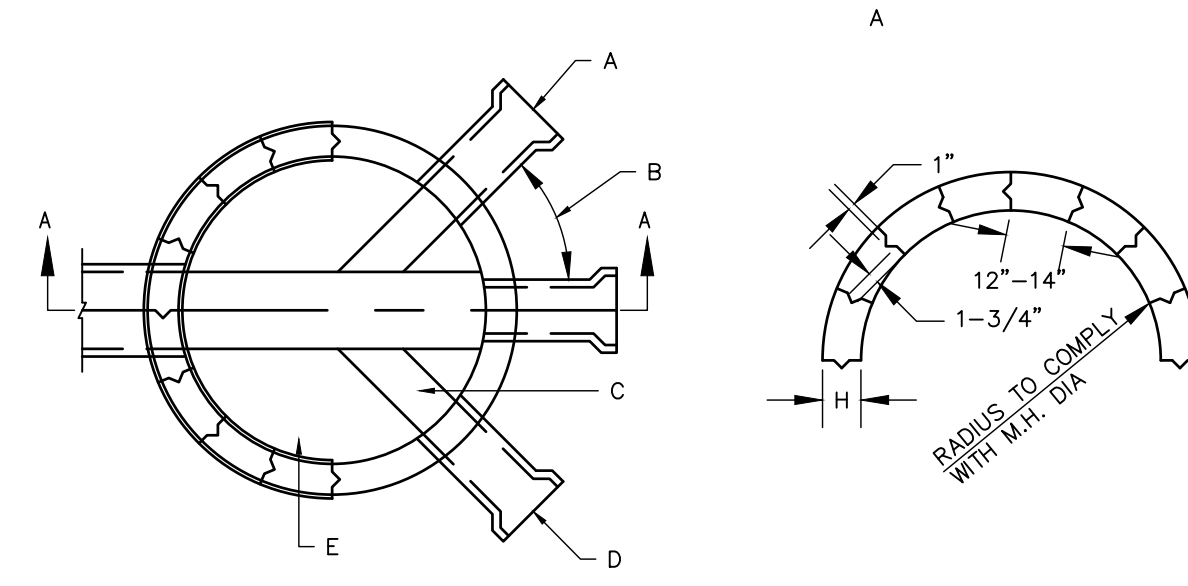
SECTION X-X  
NOT TO SCALE  
VERTICAL SCALE EXAGGERATED FOR CLARITY

**GENERAL NOTES:**

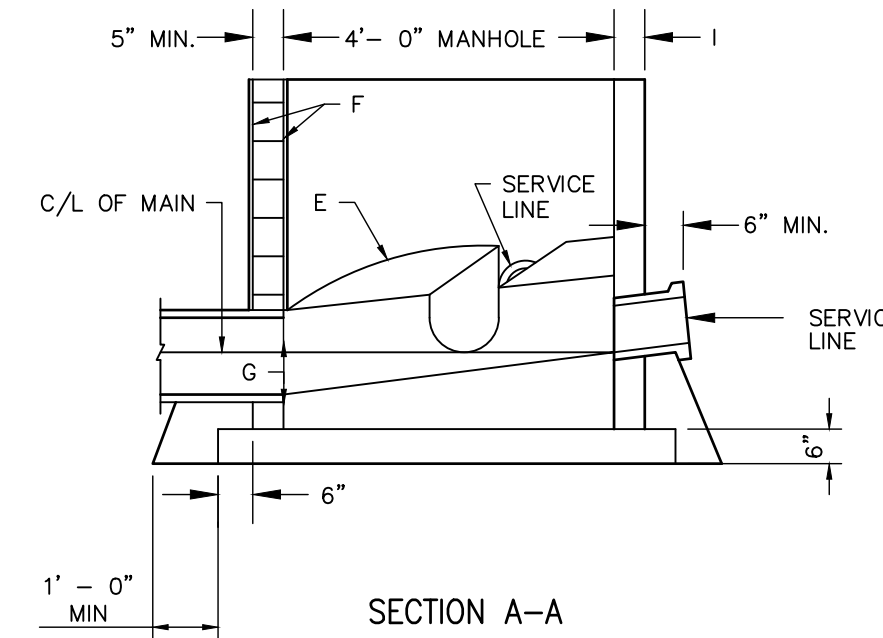
- ADJUSTMENT RING MADE FROM STANDARD ALUMINUM CASTING, ALLOY 319.
- I.D., O.D. AND DEPTH SHALL BE MACHINED TO REQUIRED DIMENSIONS.
- DUE TO VARYING EXISTING FRAME AND COVER SIZES, ALL DIMENSIONS MUST BE FIELD VERIFIED PRIOR TO MACHINING.
- ALL EDGES OF RING SHALL BE LIGHTLY GROUND AFTER MACHINING TO REMOVE SHARPNESS AND BURRS.
- COAT ALL SURFACES OF RING WITH CLEAR ACRYLIC RESIN AFTER MACHINING.

**CONSTRUCTION NOTES:**

- DIMENSION = DEPTH OF EXISTING COVER EDGE.
- DIMENSION = RING O.D. = FRAME ID AT SEAT.
- DIMENSION = RING I.D. = FRAME O.D. AT RIM.
- DIMENSION = HEIGHT OF RING ADJUSTMENT.
- EXISTING FRAME AND COVER SHALL BE CLEANED.
- TAPER = 1/2 X (C-B). G. EXISTING FRAME.



SERVICE LINE AT DEAD END  
OR CUL-DE-SAC



SECTION A-A

**GENERAL NOTES:**

- ALL CONG. SHELF SLOPES TO BE ONE INCH PER FT. 2. ONE FOURTH INCH PER FT. MIN. SLOPE FOR 4" OR 6" SERVICE LINE.
- NEW SERVICE CONNECTIONS TO EXIST. MH'S. MUST BE CORE DRILLED.
- 8" OR LARGER SERVICE CONNECTIONS MUST BE MADE TO A MH.

**CONSTRUCTION NOTES:**

- CAST IRON SERVICE STUB.
- VARIABLE WITH MAX. ANGLE OF 90°.
- FORM INVERT IN SHELF.
- BELL END.
- CONCRETE SEE SECTION 101.
- PLASTER INSIDE AND OUTSIDE WITH 1/2" MORTAR.
- INVERT ELEVATIONS OF SERVICE LINES SHALL BE THE SAME AS THE SPRING LINE ELEVATION OF THE SEWER MAIN.
- MIN 5" BLOCK FOR 4' I.D. M.H., 8" BLOCK OR DOUBLEWALL OF 2-5" BLOCKS FOR 6" OR 8" DIA. MANHOLES.
- PRECAST WALL THICKNESS: 4' I.D. M.H. - 5" MIN. 6' I.D. M.H. - 7" MIN. 8' I.D. M.H. - 9" MIN.

**E1** SEWER MANHOLE COVER ADJUSTMENT RING STD. DWG. 2111

NTS

**E6** SEWER SERVICE LINE CONNECTIONS AT MANHOLE STD. DWG. 2118

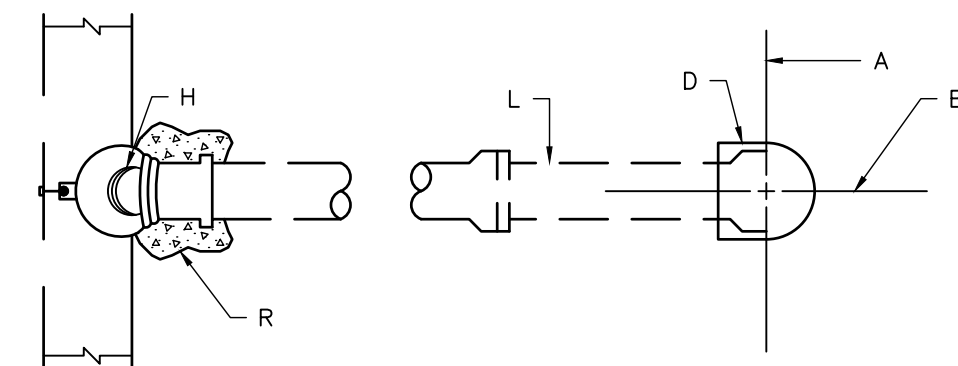
NTS

**GENERAL NOTES:**

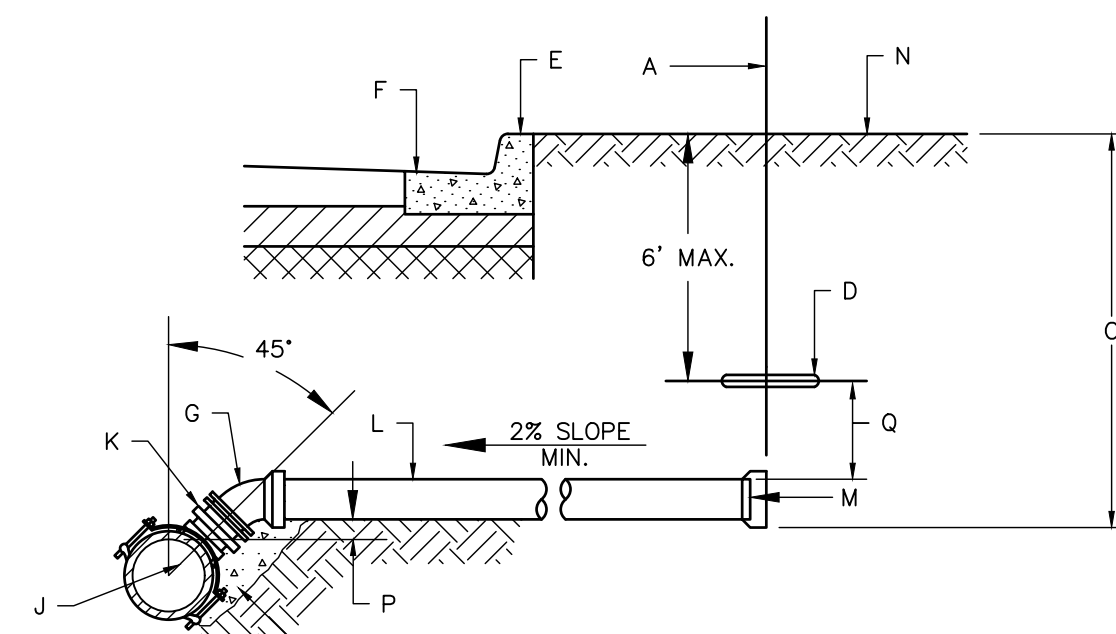
- ALL SERVICE LINES SHALL CONFORM TO THE PLUMBING CODE.

**CONSTRUCTION NOTES:**

- RIGHT-OF-WAY LINE.
- CENTER LINE SERVICE LINE.
- MIN. OF 4 FT. TO 6 FT. FROM INVERT TO TOP OF CURB AT RIGHT-OF-WAY LINE. MIN. DEPTH WILL DEPEND ON THE DEPTH OF THE MAIN SEWER LINE, THE MIN. SERVICE LINE SLOPE, THE DEPTH OF THE LOT BEING SERVED, LOCATION OF THE HOUSE ON THE LOT, AND THE GRADE OF THE LOT.
- ELECTRONIC MARKER DISC, COLOR CODED GREEN, PLACED ONLY IF SERVICE HOOK-UP IS POSTPONED.
- STAMP OR CHISEL 3" SIZE, "S" ON TOP OF CURB OVER LOCATION OF SERVICE LINE, MIN. 1/4" DEEP.
- CURB & GUTTER.
- 22.5° OR 45° BEND.
- CORE DRILLED, USING FOWLER QUIK-WAY DRILL SYSTEM, OR PILOT HOLE CUTTER SYSTEM OR APPROVED EQUAL.
- SERVICE LINE SHALL NOT PROTRUDE INTO SEWER MAIN.
- SANITARY SEWER TAPPING TEE, USING PIONEER OR GENERAL ENGINEERING CO. SADDLES OR APPROVED EQUAL. DO NOT OVER TIGHTEN SADDLE BOLTS WHICH WOULD PREVENT FREE PASSAGE OF REQUIRED MANDREL.
- SERVICE LINE (C.I. SOIL PIPE, SERVICE WEIGHT PVC SCH 40 OR ABS SCH 40).
- PLUG OR CAP.
- GROUND LEVEL.
- SAME ELEVATION OR HIGHER.
- APPROX. 6" BUT DEPTH OF BURIAL SHALL NOT BE MORE THAN 6".
- BACKFILL UNDER SERVICE WITH MIN. 1 CUBIC FOOT OF P.C. CONCRETE ("SACKCRETE" OR EQUAL ALLOWABLE THIS INSTALLATION).



SERVICE LINE PLAN



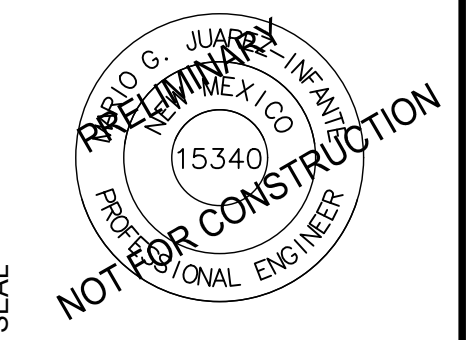
CROSS SECTION

**A1** SEWER SERVICE LINE DETAILS STD. DWG. 2125

NTS

**WILSON & COMPANY**  
4401 MASTHEAD ST NE SUITE 150  
ALBUQUERQUE, NM 87109  
PHONE: 505-348-4000  
FAX: 505-348-4055 SECOND FLOOR  
www.wilsonco.com

CONSULTANTS



SEAL

PROJECT NAME  
**PREWITT INDUSTRIAL PARK**

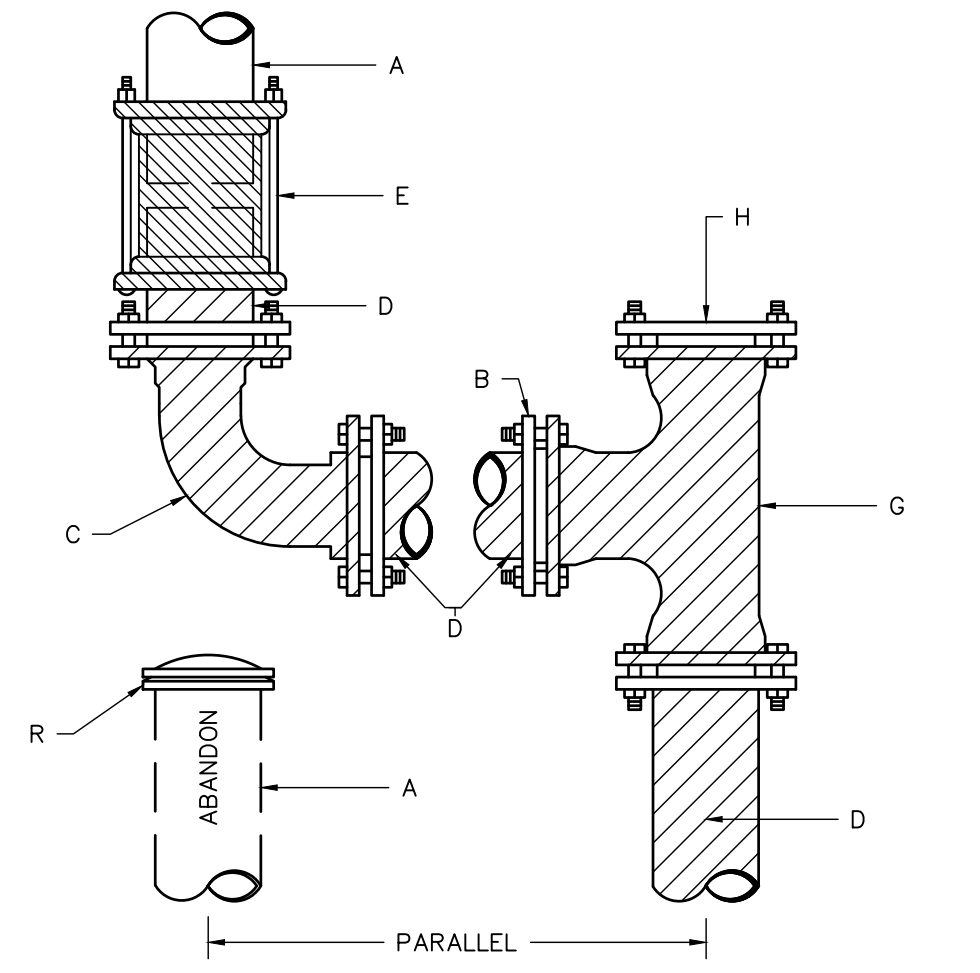
REV.	DATE	DESCRIPTION	BY

PROJECT NO:	19-600-071
DESIGNED BY:	MJI
DRAWN BY:	JJC/MIT/WGC
CHECKED BY:	---
DATE:	JUNE 2020

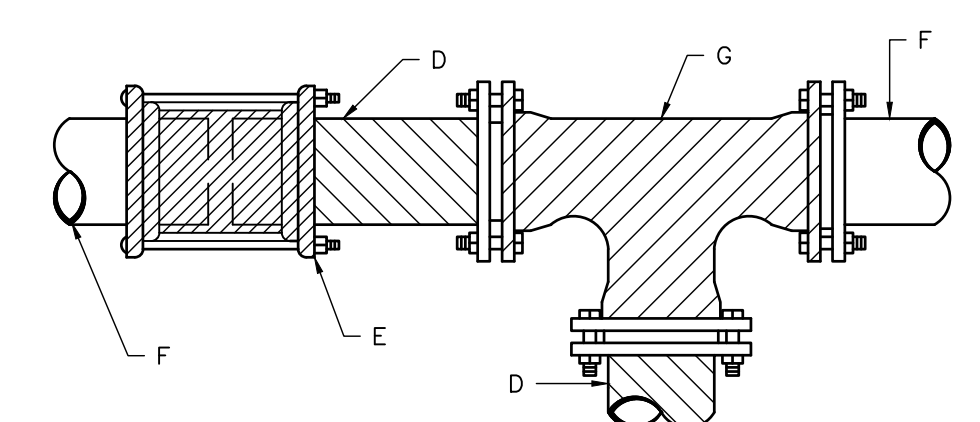
SHEET TITLE  
**SEWER DETAILS**

SHEET NO:  
**C-502**

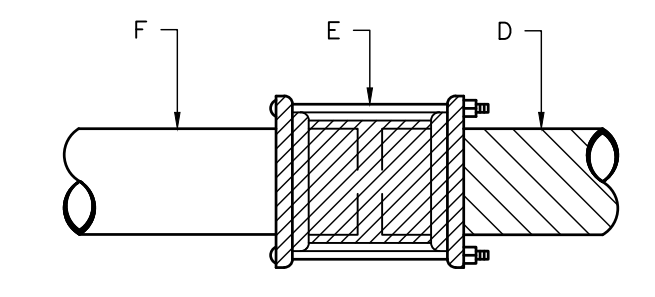
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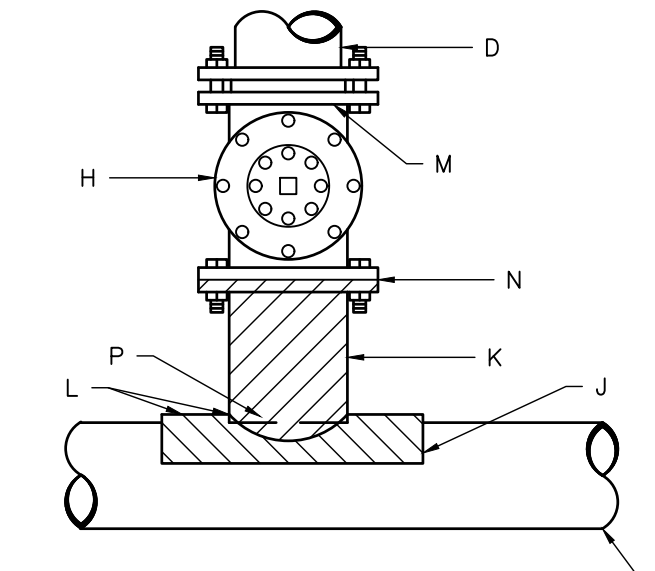
REPLACEMENT OF STEEL LINES 4" - 12" CONNECTION DETAILS



TEE INSERTION D.I., P.V.C. OR A.C. PIPE

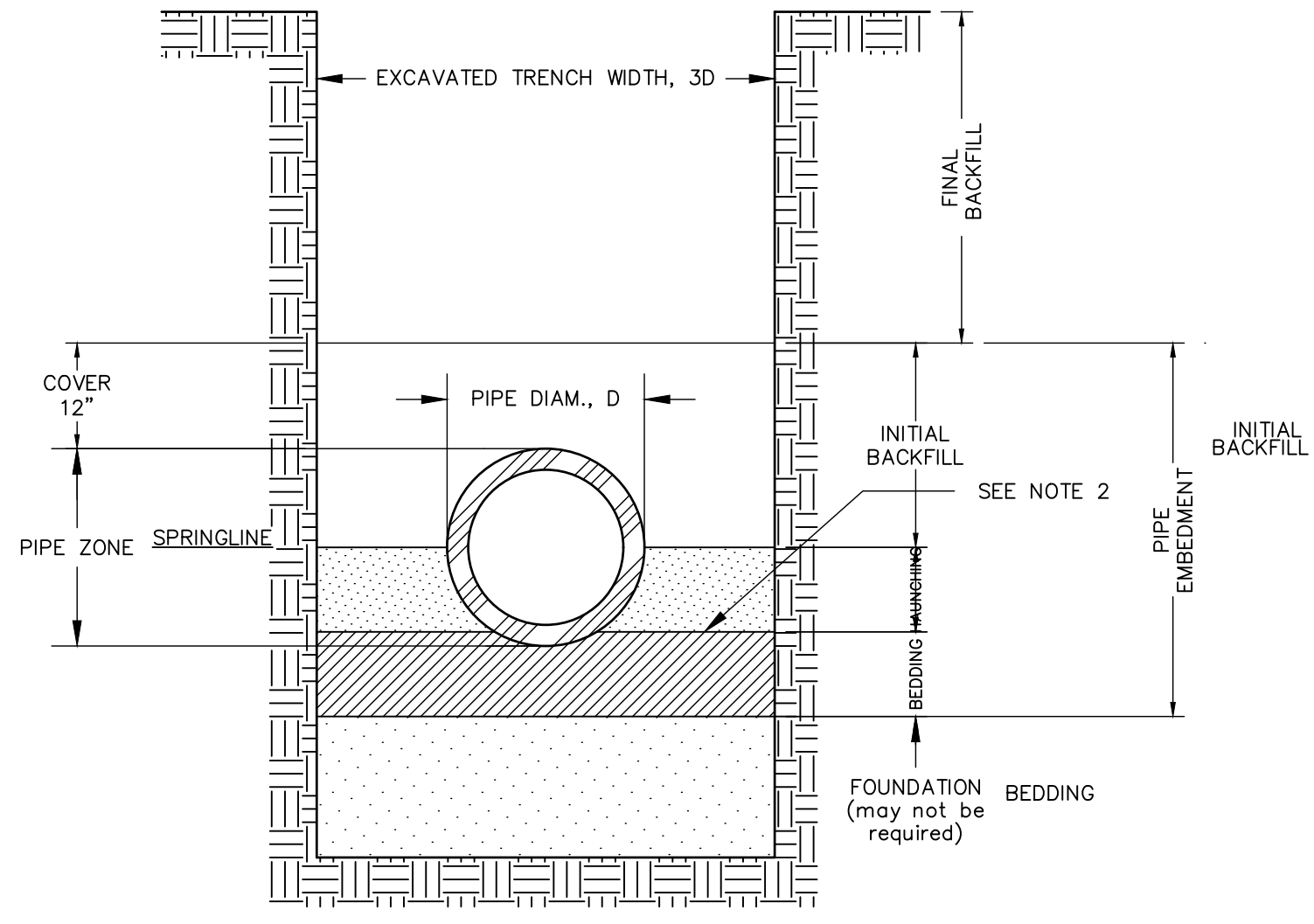


TRANSITION COUPLING FROM D.I. OR P.V.C. TO A.C. PIPE



CONNECTION TO STEEL PIPE

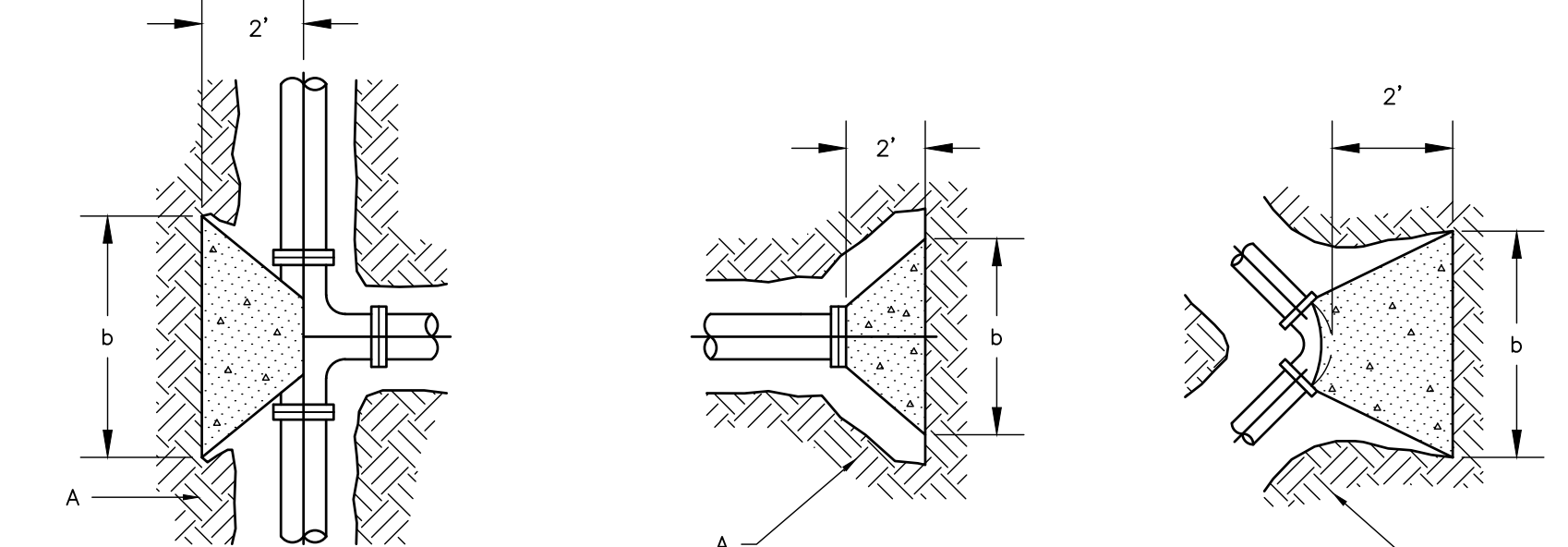
- GENERAL NOTES:**
- ALL BENDS AND FITTINGS SHALL BE BLOCKED WITH CONCRETE PER DWG. 2320 OR HAVE APPROVED, RESTRAINED JOINTS TO RESIST THRUST.
  - ALL FITTINGS SHALL BE WRAPPED WITH POLYETHYLENE.
- CONSTRUCTION NOTES:**
- EXISTING STEEL PIPE.
  - REDUCE AT TEE, IF EXISTING LINE IS SMALLER THAN NEW LINE.
  - M.J., C.I. ELBOW.
  - NEW D.I. OR P.V.C.
  - TRANSITION COUPLING.
  - EXISTING D.I., OR C.I. OR P.V.C. IF A.C., USE PAD ADAPTOR.
  - M.J., C.I. TEE.
  - GATE VALVE FL.-M.J.
  - WELDING COLLAR.
  - STEEL WELDING NECK FL.
  - TAR COAT COLLAR, NECK AND DAMAGED PIPE COATING.
  - M.J. FLANGE.
  - FLANGE.
  - PRESSURIZED CONNECTION.
  - M.J., C.I. PLUG.
  - REMOVE AT LEAST 10' OF PIPE TO BE ABANDONED AND CAP OR PLUG.
  - TAG-WELD SACRIFICIAL ANODE TO STEEL PIPE.



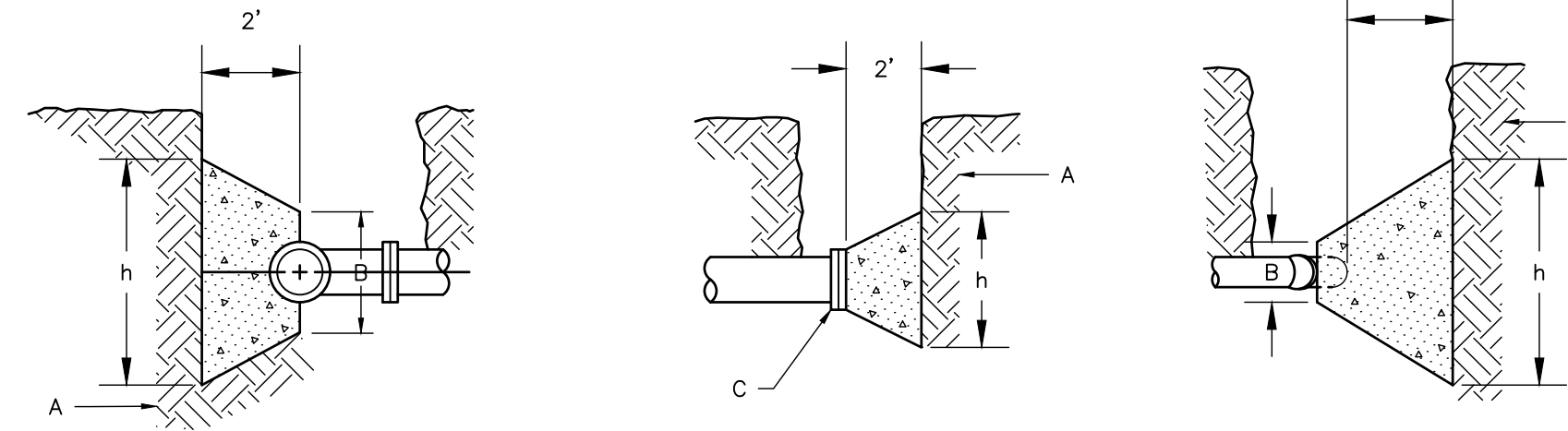
TRENCH CROSS-SECTION SHOWING TERMINOLOGY

- GENERAL NOTES:**
- MECHANICAL TAMPERS NOT TO BE USED IN THE INITIAL BACKFILL SECTION FOR FLEXIBLE PIPE.
  - MINIMUM CLASS "C" BEDDING WILL BE USED.

**E1** WATER WATERLINE CONNECTION DETAILS STD. DWG. 2301



PLAN PLAN PLAN



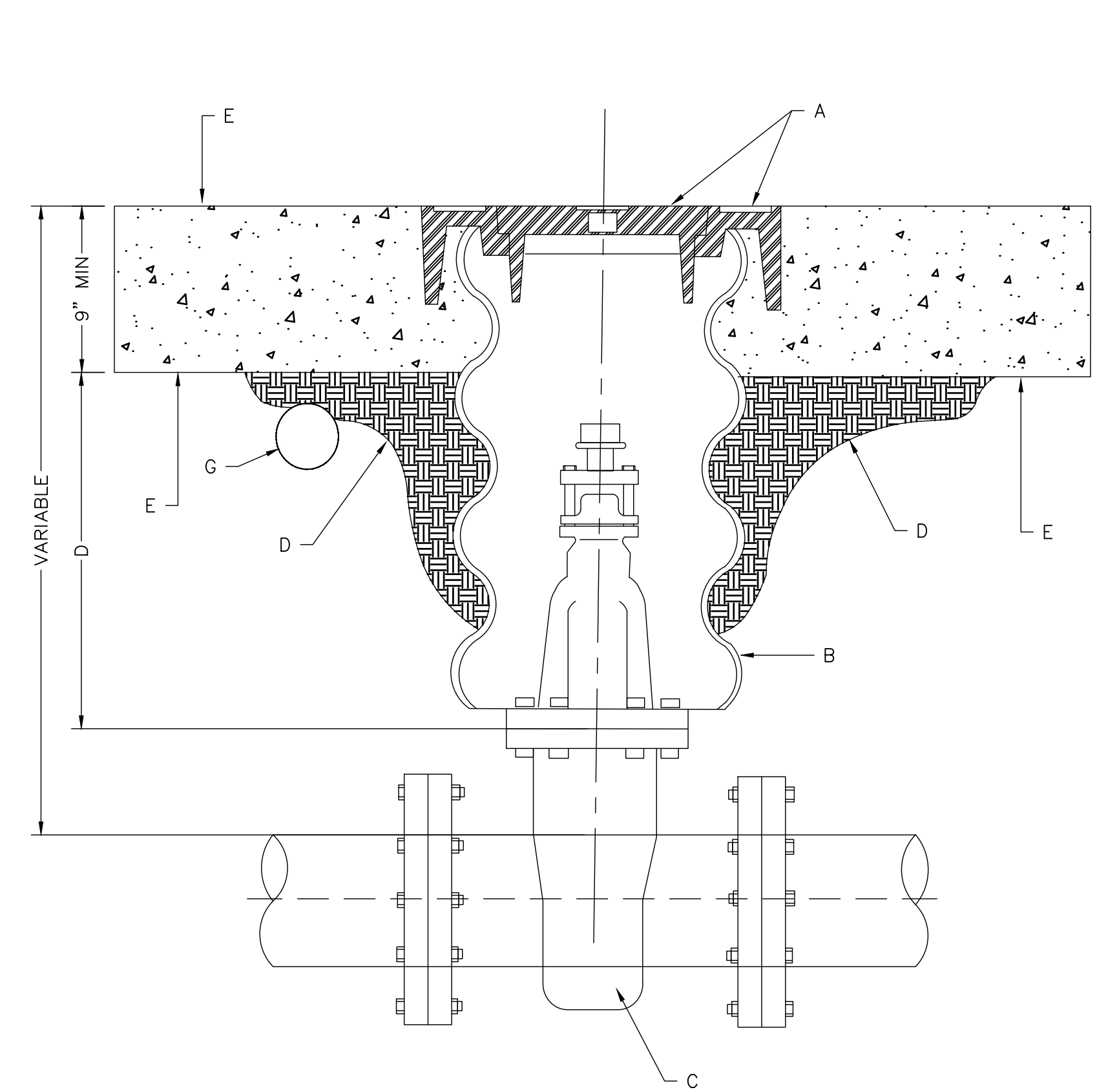
ELEVATION CONCRETE BLOCKING FOR TEE ELEVATION CONCRETE BLOCKING FOR PLUG OR CAP ELEVATION CONCRETE BLOCKING FOR ELBOW

- GENERAL NOTES:**
- ALL THRUST CONTROL BY RESTRAINED JOINTS ONLY UNLESS DIRECTED BY ENGINEER, AND FOR "SPECIAL" SITUATIONS SPECIFIED BY THE WATER AUTHORITY.
  - PIPE SIZE GREATER THAN 14" REQUIRES DESIGN BY ENGINEER TO BE SUBMITTED TO THE WATER AUTHORITY FOR APPROVAL.
  - CONCRETE BLOCKING PER SEC. 101 EXTERIOR CONCRETE, f'c=3000 PSI @ 28 DAYS.

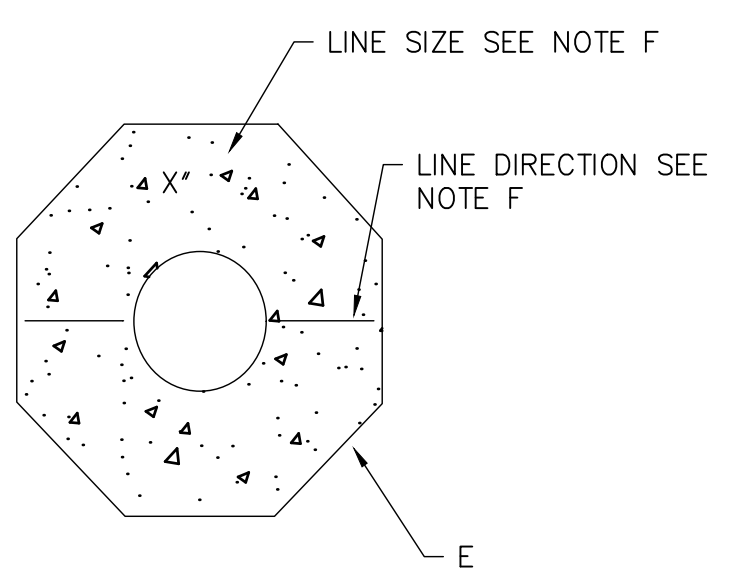
PIPE SIZE	ELBOW ANGLE	ELBOW (b) DIM.	ELBOW (h) DIM.	TEE OR PLUG (b) DIM.	TEE OR PLUG (h) DIM.
4"				2'	1'
4"	90° 45°	2'	2'		
4"	22 1/2° 11 1/4°	2'	2'		
6"				2'	2'
6"	90° 45°	2'	2'		
6"	22 1/2° 11 1/4°	2'	2'		
8"				3'	3'
8"	90°	3'	3'		
8"	45°	2'	2'		
8"	22 1/2° 11 1/4°	2'	2'		
10"				3'	3'
10"	90°	3'-6"	3'-6"		
10"	45°	3'	3'		
10"	22 1/2° 11 1/4°	2'	2'		
12"				3'-6"	3'-6"
12"	90°	4'	4'		
12"	45°	3'-6"	3'-6"		
12"	22 1/2° 11 1/4°	2'	2'		
14"				4'	4'
14"	90°	5'	5'		
14"	45°	3'-6"	3'-6"		
14"	22 1/2° 11 1/4°	3'	3'		

**A1** CONCRETE BLOCKING DESIGN STD. DWG. 2320

**E6** WATER PIPE TRENCH TERMINOLOGY STD. DWG. 2315



- GENERAL NOTES:**
- VALVE BOX RING AND COVER PER C.O.A STD. DWG. 2328.
  - 12" DIAMETER POLYMER COATED STEEL PIPE CUP.
  - NEW OR EXISTING VALVE.
  - COMPACTED BACKFILL SOIL OR BASE COURSE MATERIAL (95% COMPACTION). SEE SECTION 701.
  - CONCRETE COLLAR PER C.O.A STANDARD DRAWING 2461. f'c = 4000 psi
  - TOP OF CONCRETE COLLAR SHALL BE STAMPED WITH LINE SIZE AND DIRECTION. MINIMUM LETTER SIZE SHALL BE 3" IN HEIGHT. INSTALL FIRE LINE RING AND COVER ON FIRE LINES PER C.O.A STANDARD DRAWING 2329.
  - ELECTRONIC MARKER DEVICE (EMD), SEE C.O.A STANDARD SPECIFICATION SECTION 170.



- LABEL REQUIREMENTS**
- GENERAL NOTES:**
- BEFORE THE WORK WILL BE ACCEPTED, WATER VALVE GPS COORDINATES SHALL BE PROVIDED ON THE RECORD DRAWINGS. GPS COORDINATES OBTAINED BY A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF NEW MEXICO SHALL BE TAKEN AT THE VALVE OPERATING NUT, USE THE NAD 1983 NM STATE PLANE CENTRAL ZONE FOR X AND Y COORDINATES AND NAVD 1988 FOR Z COORDINATES.

**A6** WATER VALVE BOX STD. DWG. 2326

**WILSON & COMPANY**  
 4401 MASTHEAD ST NE SUITE 150  
 ALBUQUERQUE, NM 87109  
 PHONE: 505-348-4000  
 FAX: 505-348-4155 SECOND FLOOR  
 www.wilsonco.com

CONSULTANTS  
  
 SEAL NOT FOR CONSTRUCTION

PROJECT NAME  
**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

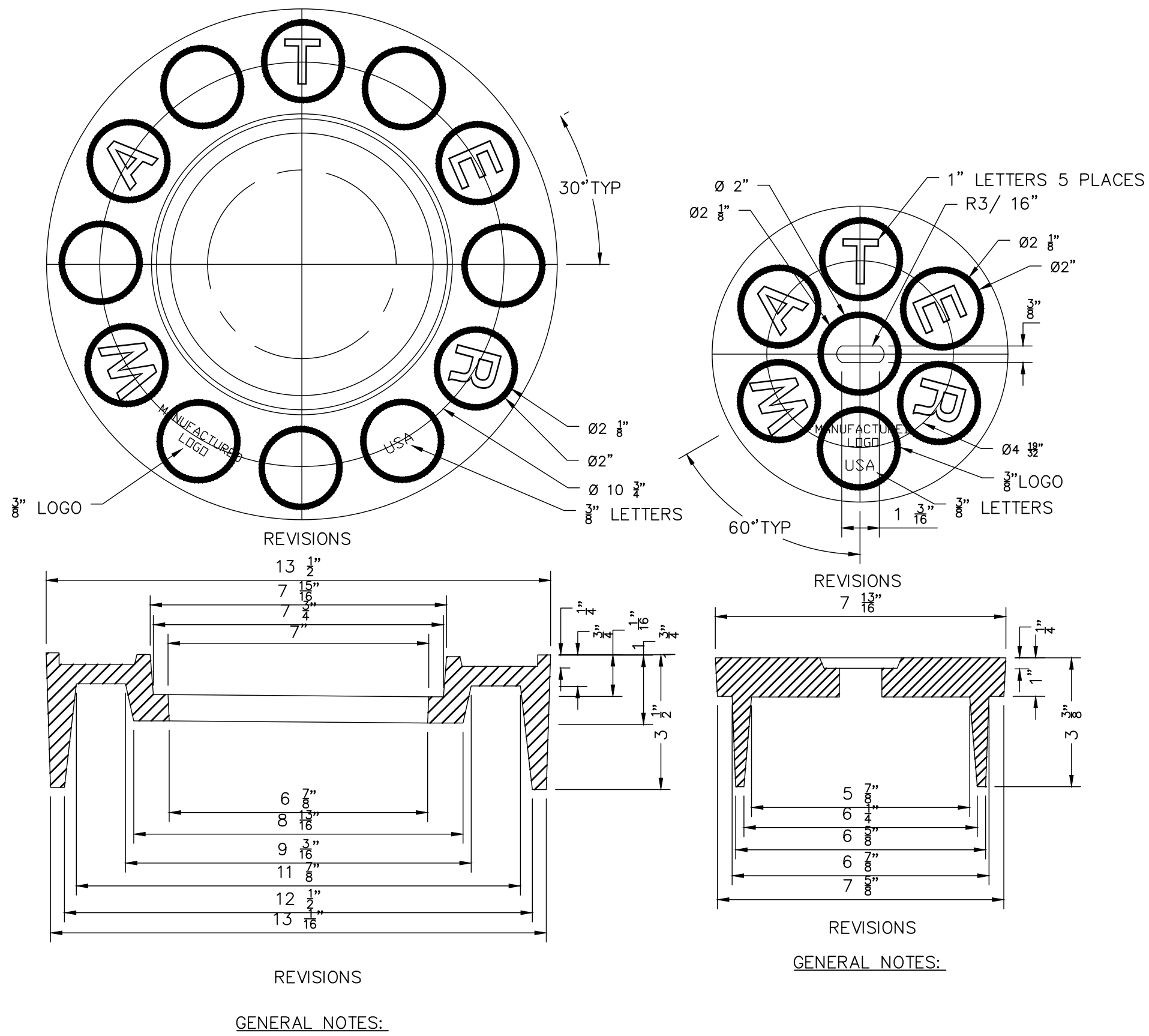
PROJECT NO: 19-600-071  
 DESIGNED BY: MJJ  
 DRAWN BY: JJC/MITW/GCC  
 CHECKED BY: ---  
 DATE: JUNE 2020

SHEET TITLE  
**WATER DETAILS**

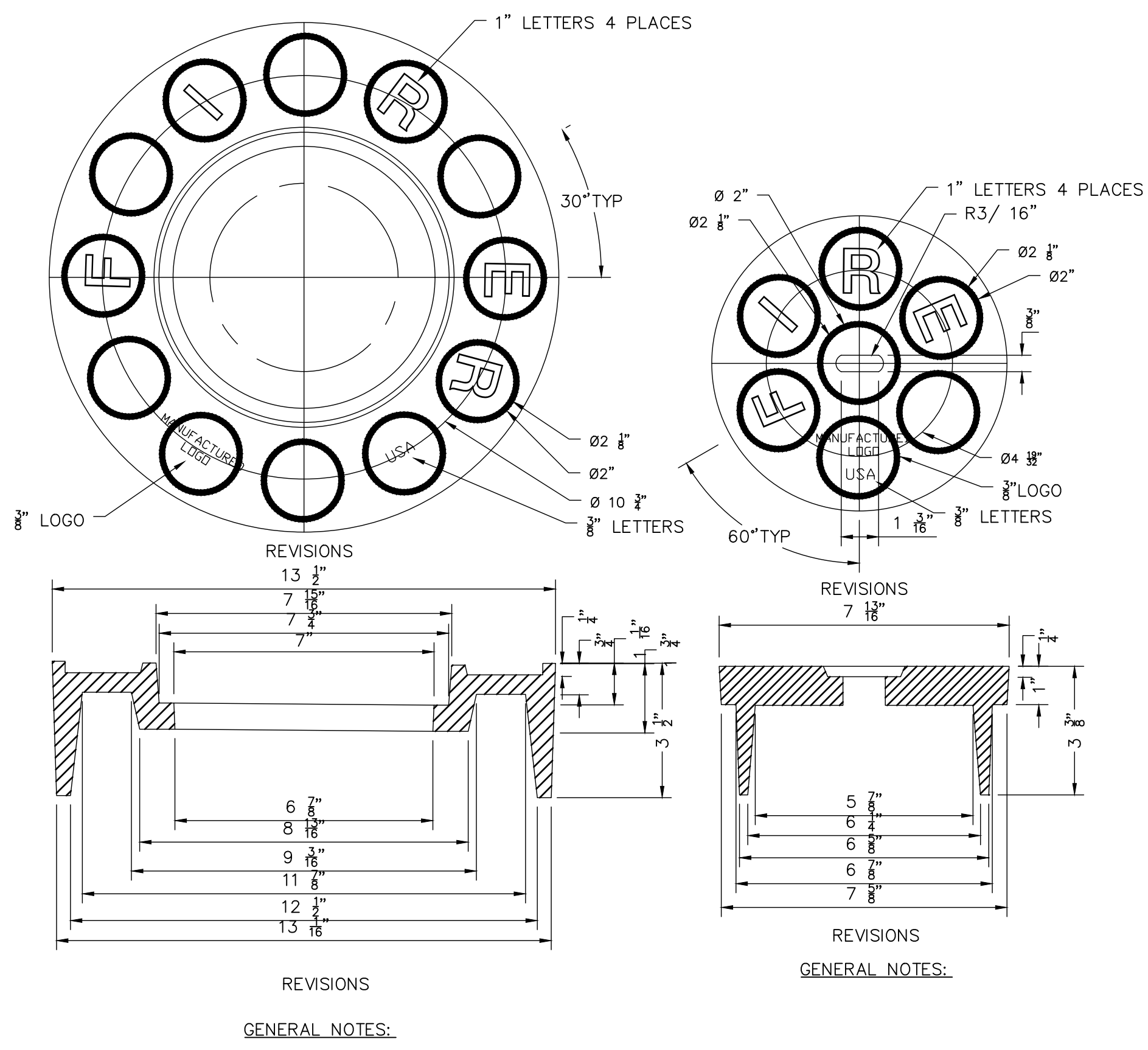
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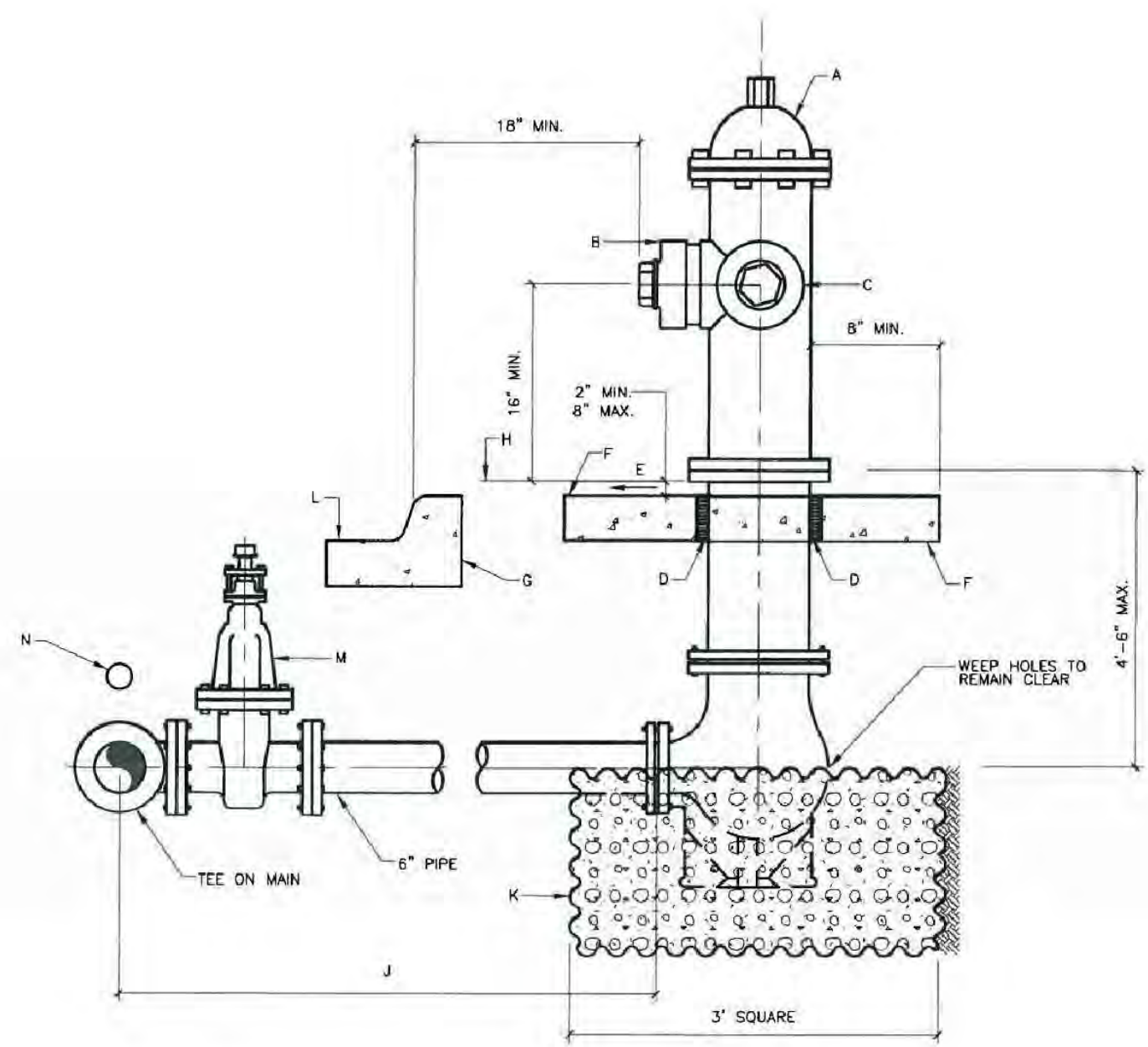
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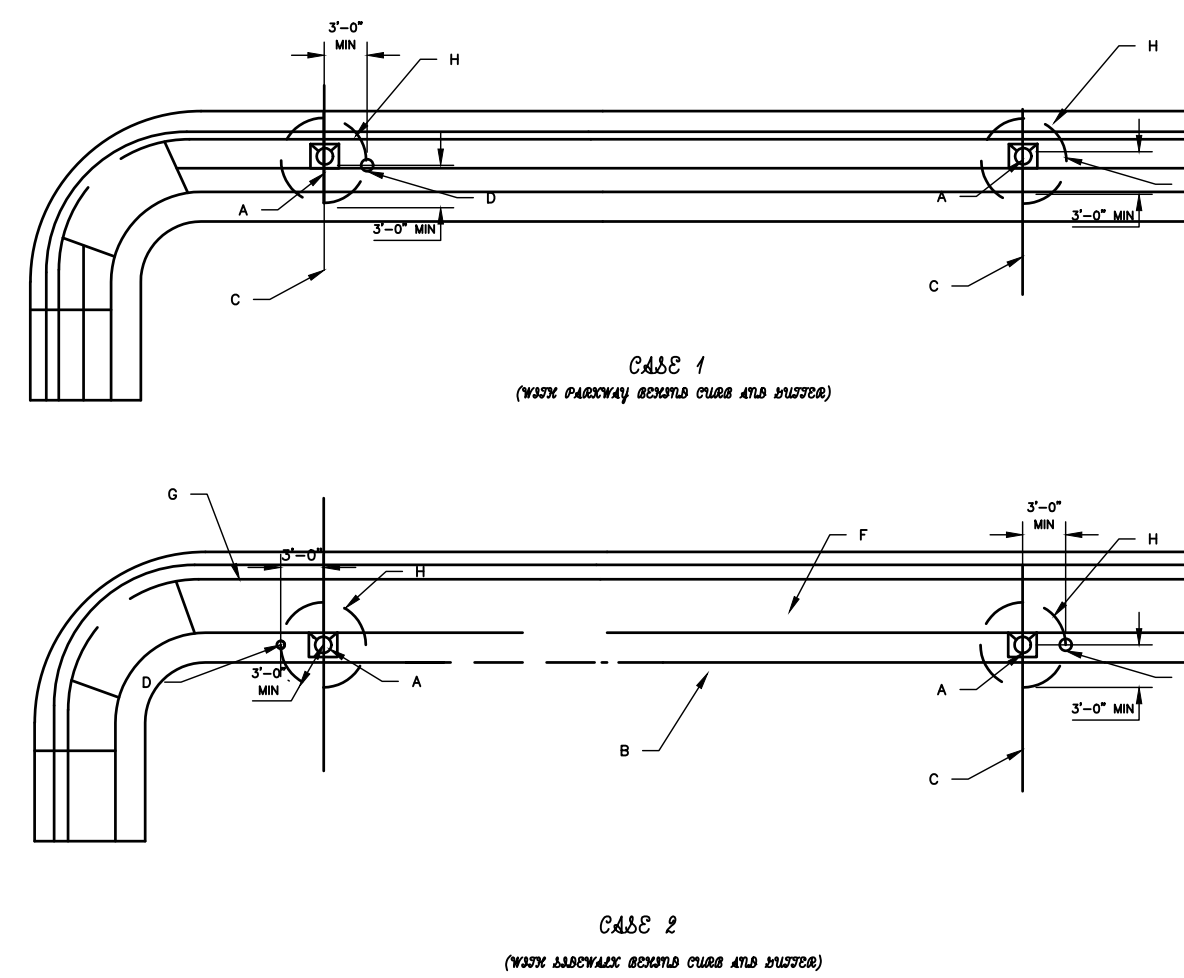
**E1** WATER RING AND COVER FOR VALVE BOX STD. DWG. 2328  
NTS



**E6** FIRE LINE RING AND COVER FOR VALVE BOX STD. DWG. 2329  
NTS



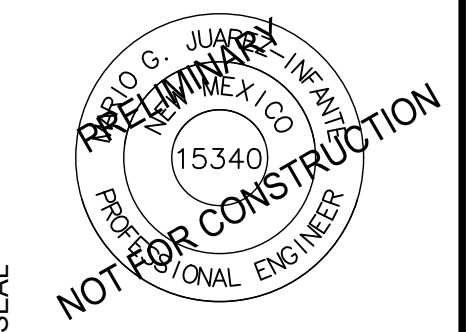
**A1** WATER FIRE HYDRANT INSTALLATION STD. DWG. 2340  
NTS



**A6** WATER DETAILS ON TYPICAL FIRE HYDRANT LOCATION STD. DWG. 2347  
NTS

**WILSON & COMPANY**  
4401 MASTHEAD ST NE SUITE 150  
ALBUQUERQUE, NM 87109  
PHONE: 505-348-4000  
FAX: 505-348-4155 FIRST FLOOR  
www.wilsonco.com

CONSULTANTS



SEAL

PROJECT NAME

PREWITT INDUSTRIAL PARK

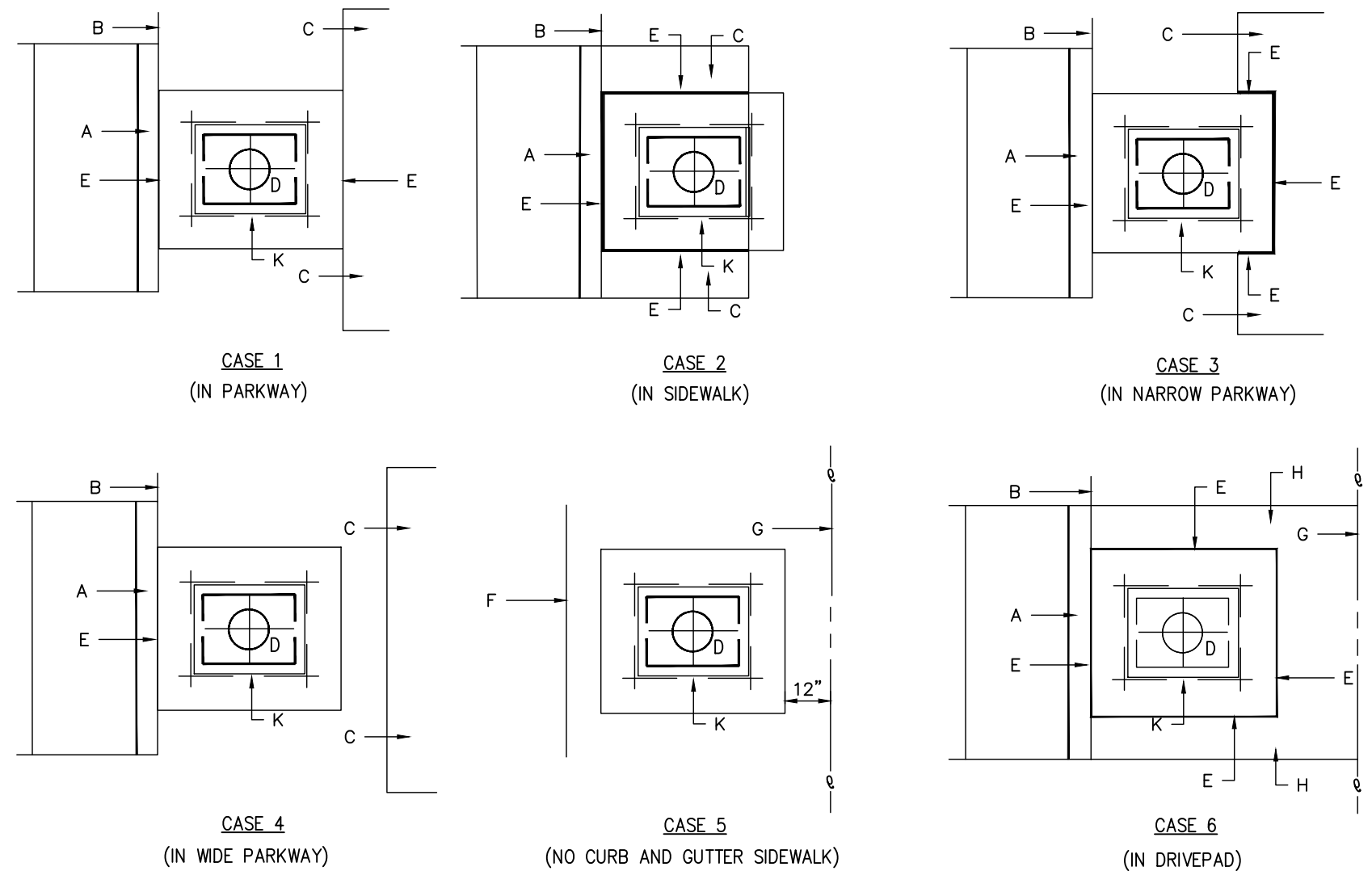
REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
DESIGNED BY: MJJ  
DRAWN BY: JJC/MITW/GC  
CHECKED BY: ---  
DATE: JUNE 2020

SHEET TITLE  
**WATER DETAILS**

SHEET NO:  
**C-504**

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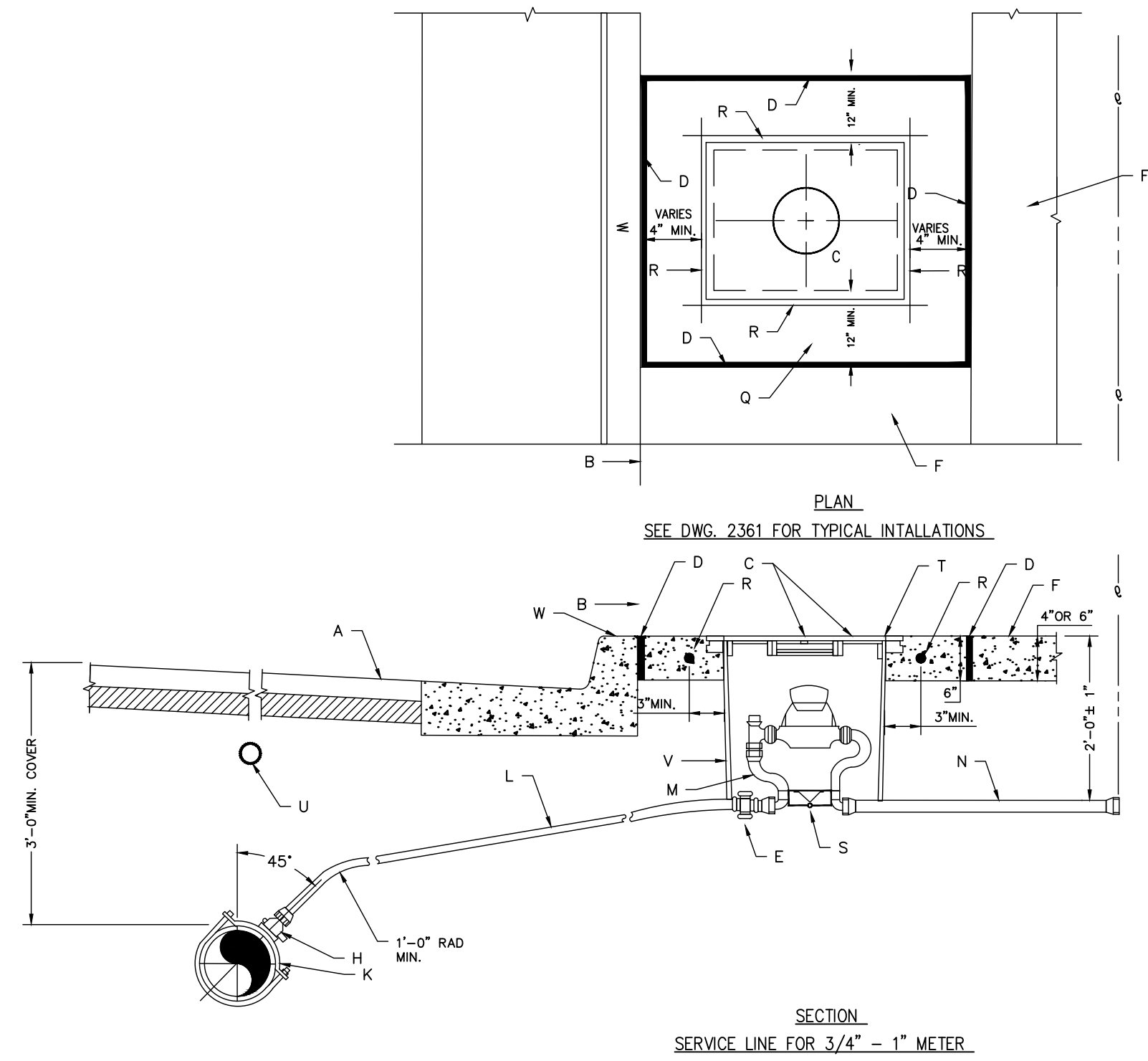


**GENERAL NOTES:**

- FOR CONSTRUCTION AND DIMENSIONS OF WATER METER BOX AND CONCRETE PAD, SEE STD. DWG. 2362 2363 & 2368.
- BECAUSE OF LIMITED SPACE, WATER BOXES MAY BE ROTATED 90°. CONNECTION TO BE MADE PER WATER AUTHORITY APPROVAL.
- DOUBLE METER BOXES SHALL BE CENTERED ON ADJOINING PROPERTY LINES.

**CONSTRUCTION NOTES:**

- CURB.
- BACK OF CURB.
- SIDEWALK.
- METER BOX COVER, SEE STD. DWG. 2368.
- $\frac{1}{2}$ " EXPANSION JOINT.
- EDGE OF UNCURBED STREET OR GRADED STREET.
- PROPERTY LINE.
- DRIVEPAD.
- CONCRETE PAD SEE DWG. 2362
- #4 REBAR CONTINUOUS ALL AROUND METER BOX.



**GENERAL NOTES:**

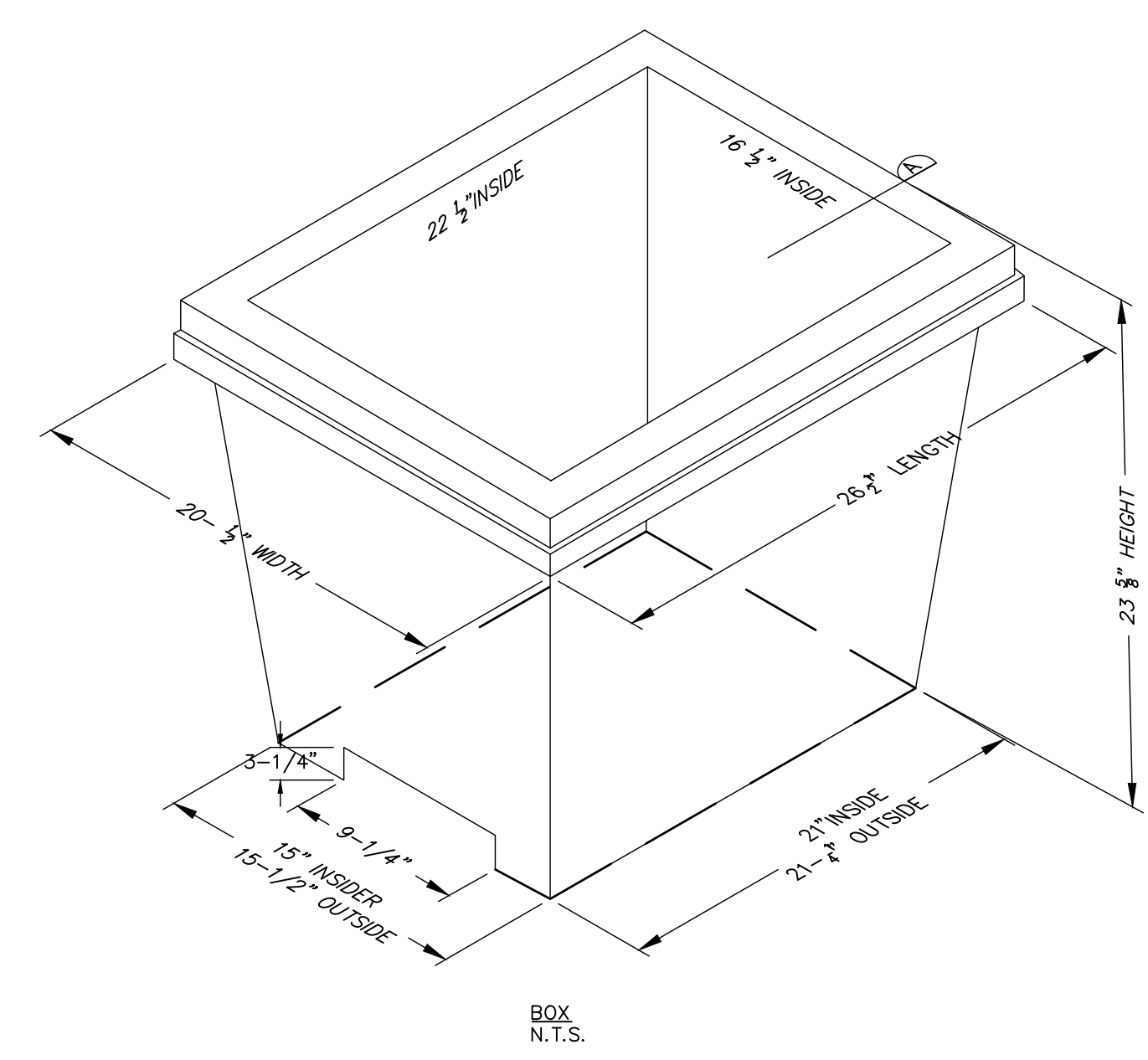
- THE METER SHALL BE SET UTILIZING COPPER - SETTER. COPPER-SETTER HEIGHT 10" FOR 1" METER 7" FOR  $\frac{3}{4}$ " METER.
- THE VALVE AND METER REGISTER SHALL BE LOCATED UNDER THE LID OPENING. WHERE TWO METERS REGISTERS SHALL BE WITHIN READING RANGE OF THE LID OPENING.
- METER BOX LOCATION SHALL CONFORM TO DWG. 2361
- WHEN CONTRACTOR DOES NOT INSTALL METER, CONTRACTOR SHALL PROVIDE REMOVABLE PLUGS FOR EN OF COPPER- SETTER.
- EXISTING CONCRETE SHALL BE SAWCUT.
- CROSS CONNECTION CONTROL SEE STANDARD SPECIFICATION SECTION 805.3.9
- THE (PRIVATE) TAILPIECE IS TO BE INSTALLED BY THE CONTRACTOR AND IS TO BE OWNED AND MAINTAINED BY THE CUSTOMER PER WATER AUTHORITY ORDINANCE.

**CONSTRUCTION NOTES:**

- STREET SURFACE.
- BACK OF CURB.
- METER BOX COVER AND LID. SEE DWG. 2368 OR 2369
- $\frac{1}{2}$ " EXPANSION JOINT.
- CURB STOP, LOCATE INSIDE METER BOX.
- SIDEWALK OF DRIVEPAD.
- METER TOP OF METER SHALL BE 12"-18" BELOW COVER.
- CORB STOP.
- MAIN WATER LINE.
- TAPPING SADDLE
- COPPER SERVICE LINE.
- COPPER SETTER. PROVIDE WITH DUAL CHECK VALVE IN PRESSURE ZONES OW 1W 1E AND FOR PRIVATE WELLS. SEE SPECIFICATION SECTION 802.3.9 FOR PRIVATE WELL PROVISIONS.
- TAILPIECE 3' LONG APPROVED COPPER TUBING WITH A CLEAN CUT AT END WITH A TEMPORARY PLUG. DUAL CHECK VALVE SHALL BE INSTALLED IN WATER ZONES OW, 1W, 1E AND FOR PRIVATE WELLS. SEE SPECIFICATION SECTION 802.3.9 FOR PRIVATE WELL PROVISION.
- CONCRETE PAD REQUIRED IN ALL AREAS PER SEC. 101 EXTERIOR CONCRETE. FC= 3000 PSI @ 28 DAYS.
- METER BOX LID SHALL BE FLUSH WITH SURROUNDING SIDEWALK.
- ELECTRONIC MARKER DEVICE (EMD) SEE STANDARD SPECIFICATION SECTION 170.
- METER BOX PER STANDARD DRAWINGS 2366.
- "W" STAMP ON CUB WHERE SERVICE LINE CROSSES.

**E1 WATER TYPICAL METER BOX INSTALLATIONS STD. DWG. 2361**

**E6 3/4"-1" METER SERVICE LINE INSTALLATION STD. DWG. 2362**

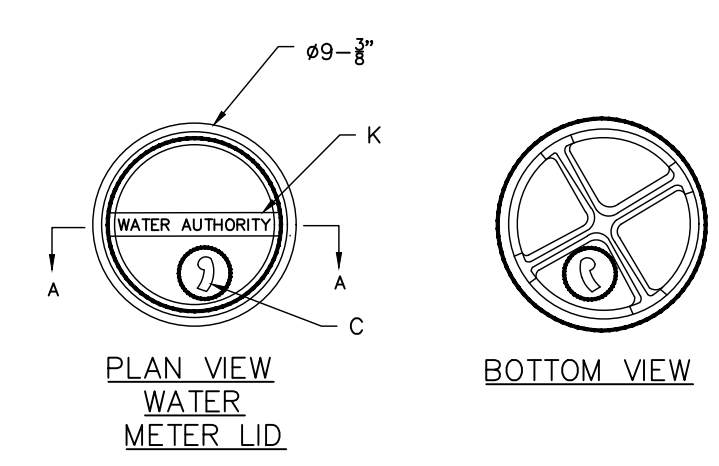
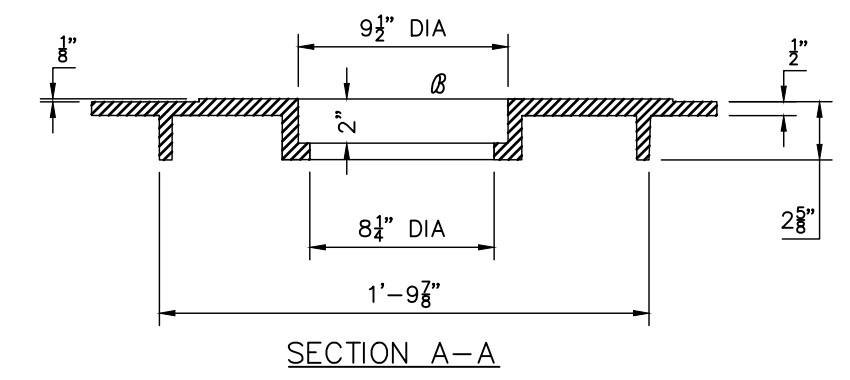
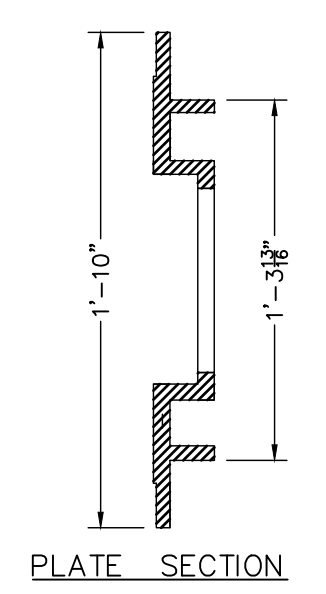
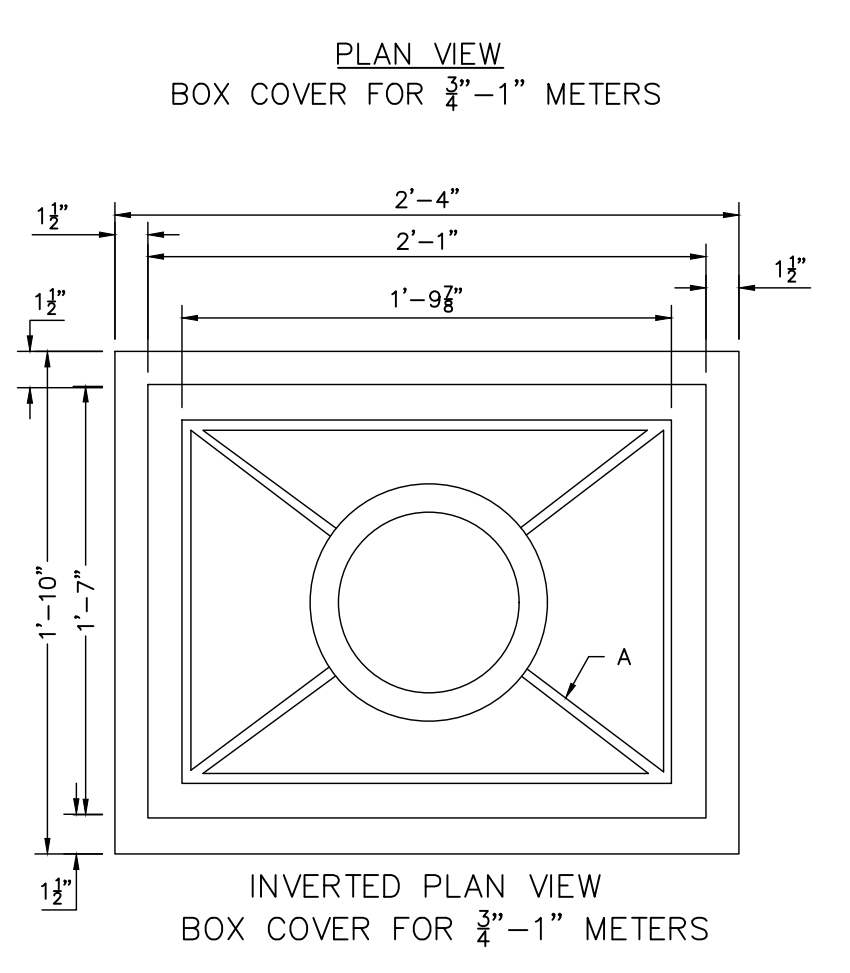
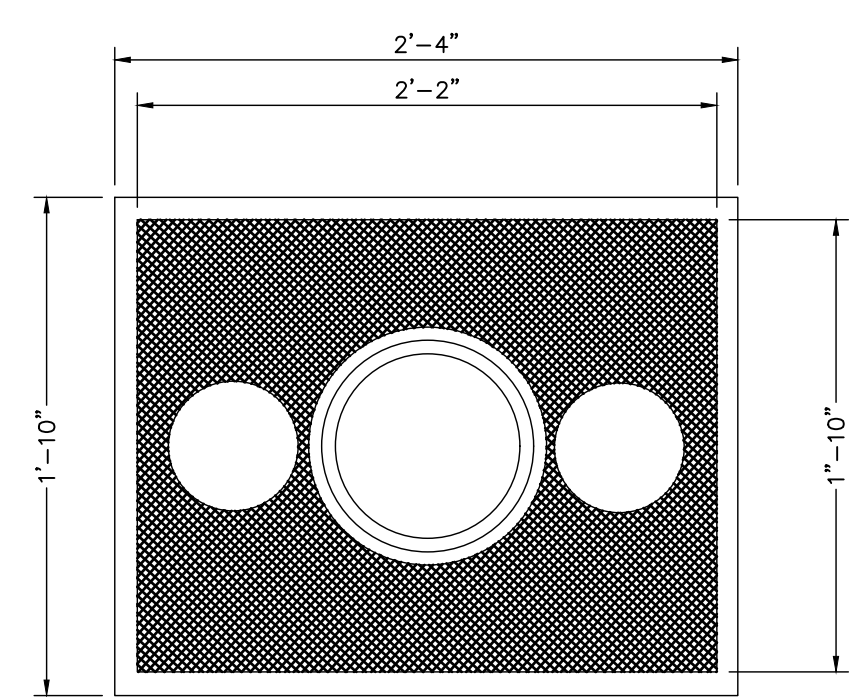
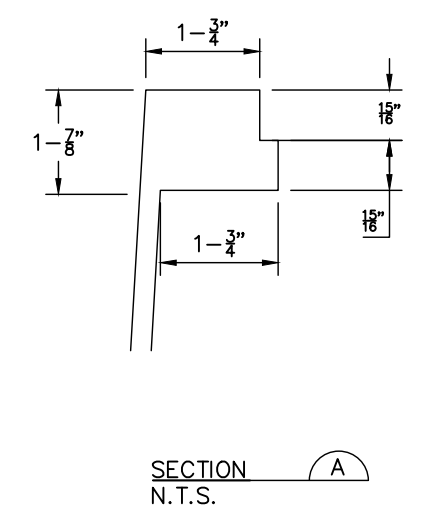


**GENERAL NOTES:**

- METER BOX LOCATION TO CONFORM TO DWG. 2361.
- CONSTRUCTION OF METER BOX TO CONFORM TO SECTION B02 FOR WATER METER BOX,  $\frac{3}{4}$ " AND 1" METERS.
- SEE DWG 2368 FOR METER BOX COVER AND LID.

**CONSTRUCTION NOTES:**

- PIPE HOLE 1 AT EACH END 9  $\frac{1}{2}$ " WIDE BY 3  $\frac{1}{2}$ " HIGH.



**GENERAL NOTES:**

- TO BE USED IN SIDEWALKS, MOUNTABLE CURB OR IN UNPAVED AREAS.

**COVER**

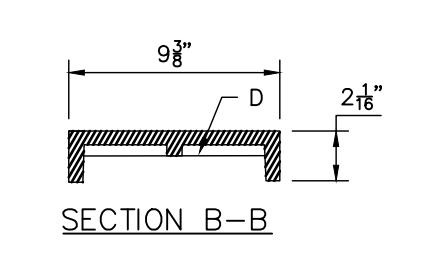
- MATERIAL - DUCTILE IRON.
- ROUND ALL EDGES.
- TOP TO BE ASPHALT PAINTED.
- TOP OF COVER SHALL HAVE AN INTERGRADED CORRUGATED DESIGN TO PREVENT SLIPPING.

**LID**

- MATERIAL - DUCTILE IRON.
- ROUND ALL EDGES.
- TOP TO BE ASPHALT PAINTED.
- TOP OF LID SHALL HAVE INTERGRADED CORRUGATED DESIGN TO PREVENT SLIPPING.
- TOP OF COVER SHALL HAVE INTERGRADED CORRUGATED DESIGN TO PREVENT SLIPPING.
- LID SHALL NOT ROCK ON COVER AND SHALL BE EASILY OPENED.
- THE TOP SURFACE OF THE LID SHALL BE FLUSH WITH TOP OF THE COVER.

**CONSTRUCTION NOTES:**

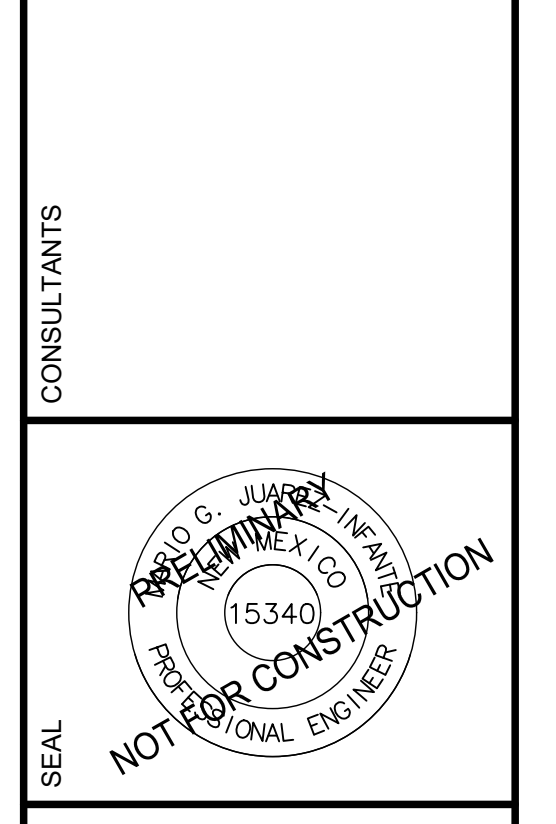
- $\frac{3}{8}$ "-2-3/8" RIB(TYPICAL).
- LID OPENING.
- METER LID KEYHOLE.
- $\frac{1}{2}$ " THICK RIB.
- $\frac{3}{8}$ " RAISED LETTERING (FLUSH).
- FLAT AREA.



**A1 WATER 3/4"-1" METER BOX STD. DWG. 2366**

**A6 WATER METER BOX COVER & LID FOR 3/4"-1" METER STD. DWG. 2368**

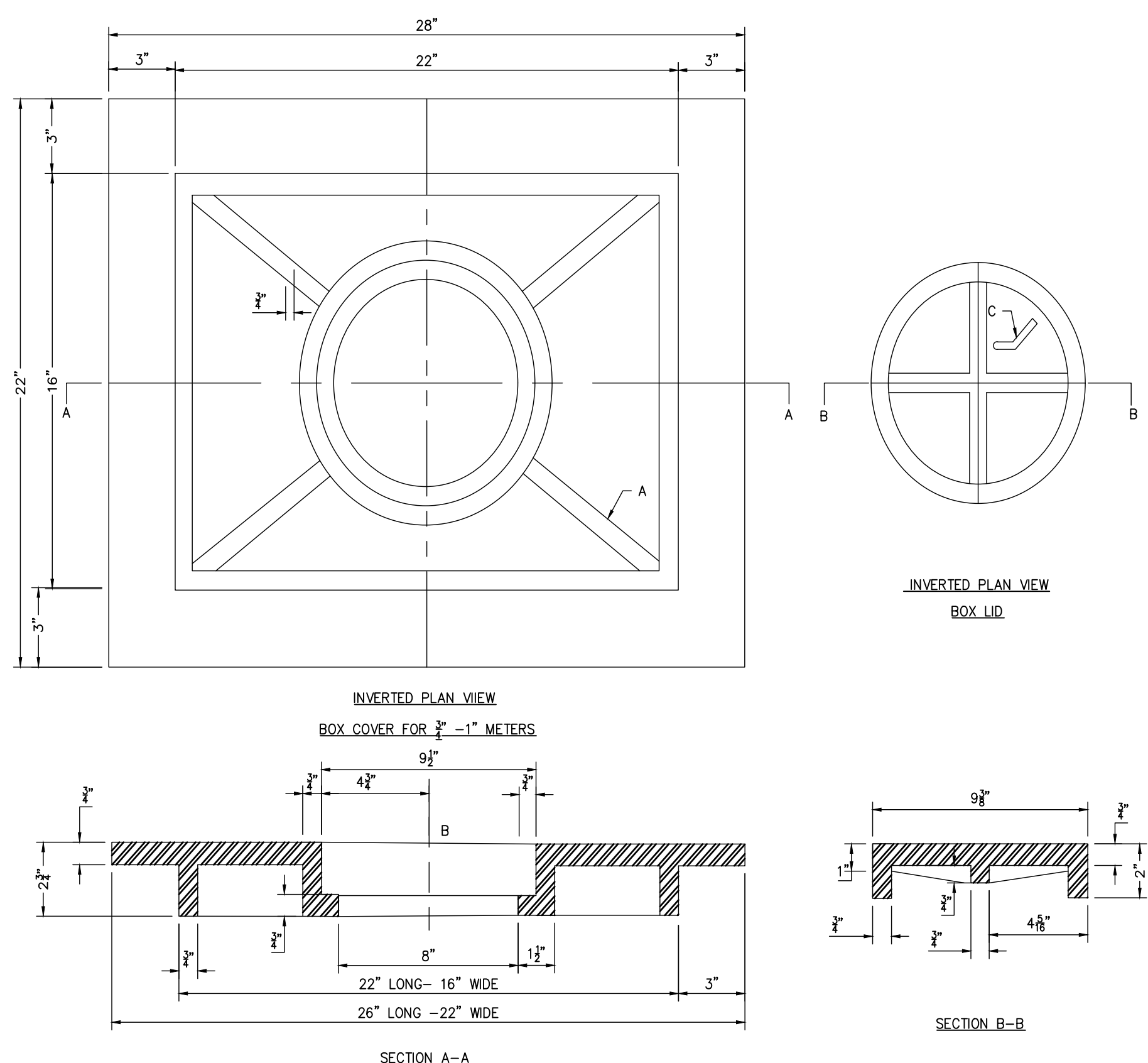
**WILSON & COMPANY**  
 4401 MASTHEAD ST. NE SUITE 150  
 ALBUQUERQUE, NM 87109  
 PHONE: 505-348-4000  
 FAX: 505-348-4155 FIRST FLOOR  
 www.wilsonco.com



**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
 DESIGNED BY: MJJ  
 DRAWN BY: JJC/MITW/GC  
 CHECKED BY: ---  
 DATE: JUNE 2020  
 SHEET TITLE: WATER DETAILS  
 SHEET NO: C-505

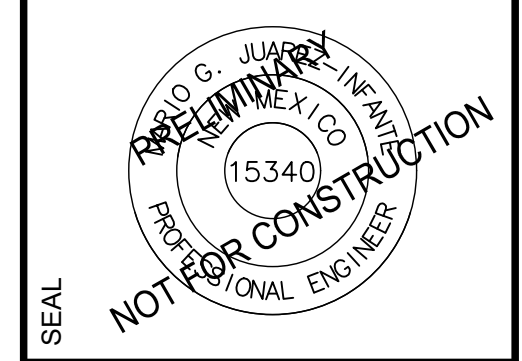


**GENERAL NOTES:**  
 1 TO BE USED WHERE THE ADJACENT STREET WAS MOUNTABLE CURBS, OR IN DRIVEWAYS.  
**COVER**  
 2 MATERIAL - GRAY C.I.  
 3 ROUND ALL EDGES.  
 4 TOP TO BE ASPHALT PAINTED.  
 5 TOP OF COVER SHALL HAVE AN INTEGRATED CORRUGATED DESIGN TO PREVENT SLIPPING.  
 6 COMPONENT THICKNESS 7/8".  
**LID**  
 7 MATERIAL - GRAY C.I.  
 8 ROUND ALL EDGES.  
 9 TOP TO BE ASPHALT PAINTED.  
 10 TOP OF LID SHALL HAVE INTEGRATED CORRUGATED DESIGN TO PREVENT SLIPPING.  
 11 TOP OF COVER SHALL HAVE INTEGRATED WORDS "CITY WATER METER".  
 12 LID SHALL NOT ROCK ON COVER AND SHALL BE EASILY OPENED.  
 13 THE TOP SURFACE OF THE LID SHALL BE FLUSH WITH TOP OF COVER.  
**CONSTRUCTION NOTES:**  
 A 7/8"x2" RIB (TYPICAL).  
 B LID OPENING.  
 C METER LID KEYHOLE.  
 D 7/8" THICK RIB.

**E1** WATER HEAVYWEIGHT METER BOX COVER & LID FOR 3/4" & 1" METERS STD. DWG. 2369  
 NTS

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 PHONE: 505-348-4000  
 FAX: 505-348-4155 FIRST FLOOR  
 505-348-4055 SECOND FLOOR  
 www.wilsonco.com

CONSULTANTS



PROJECT NAME  
**PREWITT INDUSTRIAL PARK**

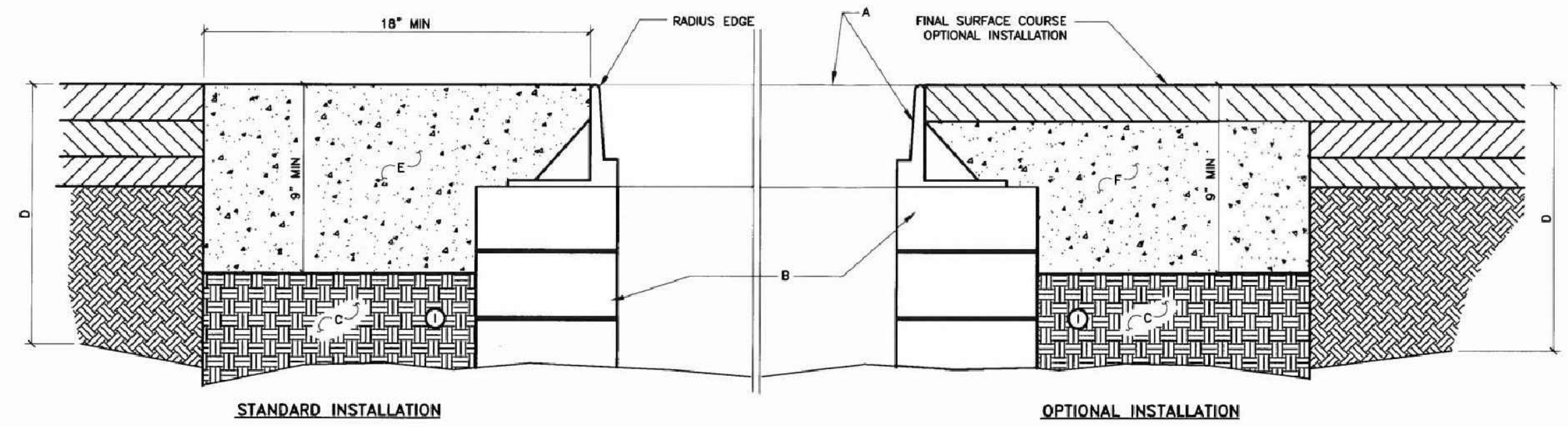
REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
 DESIGNED BY: MJI  
 DRAWN BY: JJC/MIT/WGC  
 CHECKED BY: ---  
 DATE: JUNE 2020

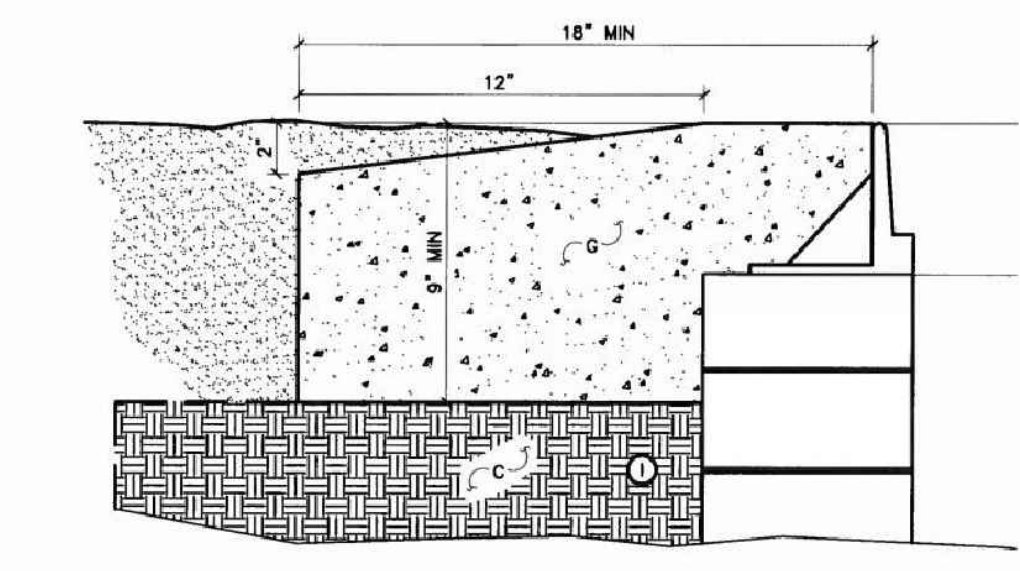
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**WATER DETAILS**

SHEET NO:  
**C-506**

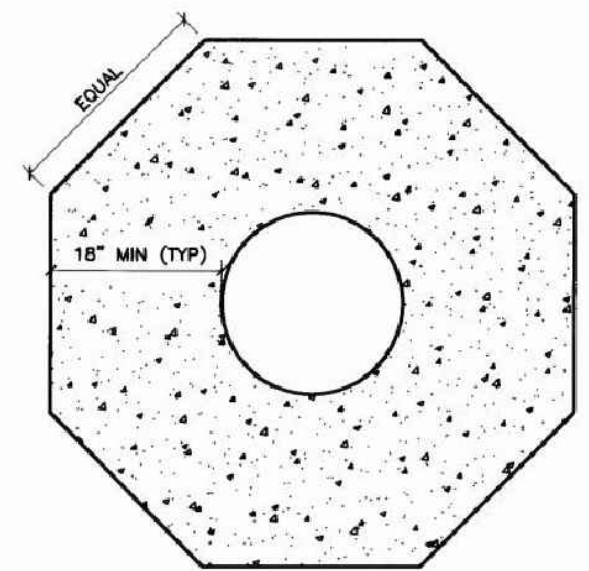
H  
G  
F  
F  
D  
C  
B  
A



PAVED AREAS



DIRT AREAS



TOP PLAN

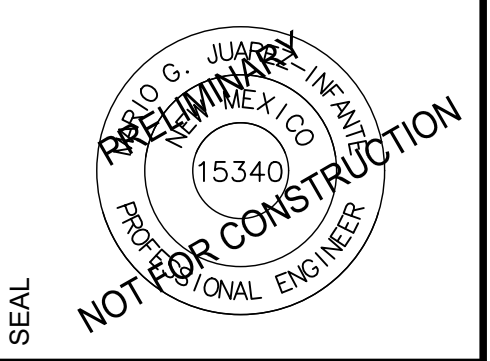
**GENERAL NOTES**

- A MANHOLE OR VALVE BOX RING AND COVER PER VILLAGE STANDARDS.
- B MANHOLE CONE/EXTENSION OR VALVE PIPE PER VILLAGE STANDARDS. PIPE WITH SMOOTH INTERIOR.
- C 12" SUBGRADE, 95% COMPACTION (ASTM).
- D PAVING SECTION PER APPROVED DRAWINGS.
- E CONCRETE COLLAR IN PAVED AREAS - TYPICAL INSTALLATION.
- F CONCRETE COLLAR IN PAVED AREAS WITH ASPHALT CAP. TO BE USED WHEN CALLED FOR ON PLANS OR AS DIRECTED BY THE ENGINEER. WATER AUTHORITY APPROVAL MUST BE OBTAINED PRIOR TO INSTALLATION ON SANITARY SEWER AND/OR WATER APPLICATIONS.
- G CONCRETE COLLAR IN DIRT AREAS - SET RING 1" ABOVE GRADE AND SLOPE CONCRETE DOWN AS SHOWN TO 1" BELOW GRADE.
- H WATER VALVE INSTALLATIONS SHALL HAVE SURFACE STAMPED WITH LINE INFORMATION PER NM APWA STANDARD DWG 2326.
- I ELECTRONIC MARKER DEVICE (EMD) REQUIRED FOR ALL SANITARY SEWER MANHOLES AND WATER VALVES. SEE COA STANDARD SPECIFICATION SECTION 170.

**A6** MANHOLE/VALVE CONCRETE COLLAR DETAIL STD. DWG. 2461  
NTS

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FAX: 505-348-4055 SECOND FLOOR  
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CONSULTANTS



SEAL

PROJECT NAME

**PREWITT INDUSTRIAL PARK**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-071  
DESIGNED BY: MJI  
DRAWN BY: JJC/MIT/WGC  
CHECKED BY: ---  
DATE: JUNE 2020

SHEET TITLE  
**PAVING DETAILS**

SHEET NO:  
**C-507**



## Appendix B– Design Drawings for Phase I Spec Building

**Prewitt Industrial Park**  
MASTER PLAN AND PRELIMINARY DESIGN



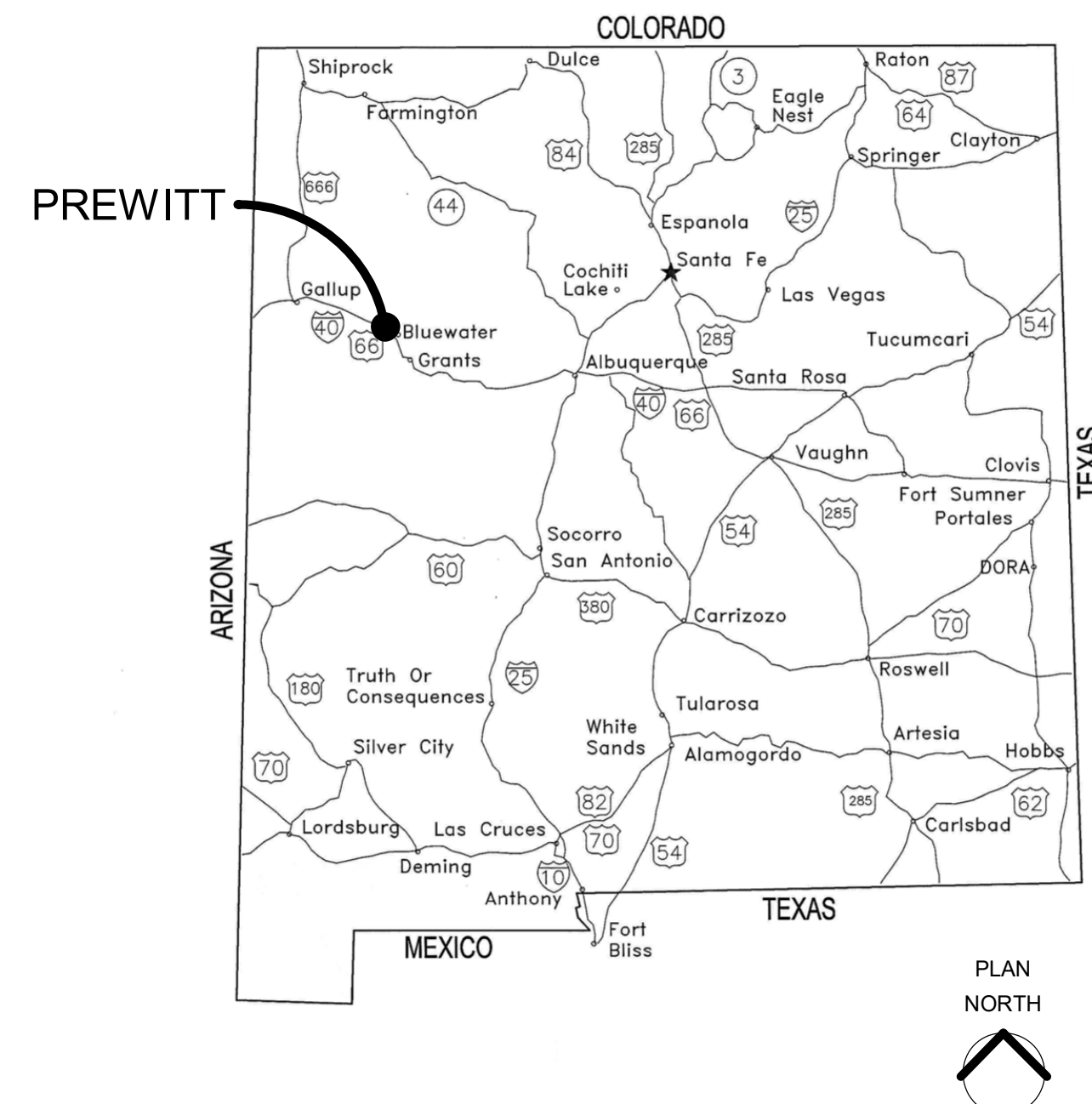
**WILSON & COMPANY**  
HIGHER RELATIONSHIPS

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# PREWITT SPEC BUILDING DESIGN DEVELOPMENT SET JUNE 15TH, 2020

STATE MAP



VICINITY MAP



**SHEET LIST**

- G-001 COVER SHEET
- G-002 CODE INFORMATION
  
- S-101 OVERALL FOUNDATION PLAN
- S-102 OVERALL FRAMING PLAN
- S-301 FOUNDATION SECTIONS
- S-302 ROOF FRAMING SECTIONS
  
- A-101 OVERALL FLOOR PLAN
- A-102 PARTIAL FLOOR PLAN SOUTH
- A-103 PARTIAL FLOOR PLAN NORTH
- A-104 OVERALL ROOF PLAN
- A-201 EXTERIOR ELEVATIONS
- A-202 EXTERIOR ELEVATIONS
- A-301 BUILDING SECTIONS
- A-302 WALL SECTIONS
- A-401 DOOR AND WINDOW ELEVATIONS
- A-501 DOOR AND WINDOW DETAILS
- A-502 DETAILS
- A-601 SCHEDULES & DETAILS
  
- P-001 PLUMBING GENERAL NOTES & LEGENDS
- PS101 PLUMBING SITE PLAN
- PD101 PLUMBING DEMOLITION PLAN
- FP101 FIRE PROTECTION PLAN SOUTH
- FP102 FIRE PROTECTION PLAN NORTH
- P-101 PLUMBING WASTE & VENT PLAN SOUTH
- P-102 PLUMBING WASTE & VENT PLAN NORTH
- P-103 PLUMBING DOMESTIC WATER PLAN SOUTH
- P-104 PLUMBING DOMESTIC WATER PLAN NORTH
  
- M-001 MECHANICAL GENERAL NOTES & LEGENDS
- MS101 MECHANICAL SITE PLAN
- MD101 MECHANICAL DEMOLITION PLAN
- M-101 MECHANICAL ROOF PLAN SOUTH
- M-102 MECHANICAL ROOF PLAN NORTH
- M-103 MECHANICAL ROOF PLAN
- M-401 ENLARGED MECHANICAL HVAC PLAN
- M-501 MECHANICAL DETAILS
- M-601 MECHANICAL SCHEDULES
- M-602 MECHANICAL CONTROLS
  
- E-001 ELECTRICAL GENERAL NOTES & LEGENDS
- E-101 ELECTRICAL LIGHTING PLAN - SOUTH
- E-102 ELECTRICAL LIGHTING PLAN - NORTH
- E-103 ELECTRICAL POWER PLAN - SOUTH
- E-104 ELECTRICAL POWER PLAN - NORTH
- E-105 ELECTRICAL SPECIAL SYSTEMS PLAN - SOUTH
- E-106 ELECTRICAL SPECIAL SYSTEM - NORTH
- E-107 ELECTRICAL ROOF PLAN - SOUTH
- E-108 ELECTRICAL ROOF PLAN - NORTH
- E-501 ELECTRICAL DETAILS
- E-601 ELECTRICAL DIAGRAMS AND SCHEDULES
- E-602 ELECTRICAL PANEL SCHEDULES

**GENERAL NOTES**

THESE DRAWINGS UTILIZE A REFERENCE KEYNOTE SYSTEM THAT CONSISTS OF A 6-DIGIT NUMERICAL ROOT FOLLOWED BY A PERIOD AND AN ALPHANUMERIC SUFFIX (SUCH AS 05 5000.A01).

INFORMATION ASSOCIATED WITH EACH KEYNOTE IS LOCATED IN THAT SHEETS RESPECTIVE NOTE BLOCK. THE ROOT OF THE REFERENCE INCLUDES MORE SPECIFIC INFORMATION ON THE ITEM BEING IDENTIFIED. THE SUFFIX IS NOT ASSOCIATED WITH ANY SPECIFIC REFERENCE IN THE SPECIFICATION SECTION.

CERTAIN REFERENCE KEYNOTES MAY CONTAIN MODIFIERS (CONTAINED WITHIN PARENTHESES) LOCATED UNDERNEATH THE REFERENCE KEYNOTE. THE MODIFIER IDENTIFIES TYPE, SIZE, THICKNESS, AND OTHER ADDITIONAL CHARACTERISTICS ABOUT THE ITEM.

THE REFERENCE KEYNOTING SYSTEM SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE.

ABBREVIATIONS: REFERENCED FROM THE CONSTRUCTION SPECIFICATION INSTITUTE'S UNIFORM DRAWING SYSTEM TERMS AND ABBREVIATIONS MODULE.

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**OWNER**

NWNMCOG  
106 WEST AZTEC AVENUE  
GALLUP, NM 87301  
(505) 287-7124

**ARCHITECT**

WILSON & COMPANY  
4401 MASTHEAD STREET NE  
SUITE 150  
ALBUQUERQUE, NM 87109  
(505) 348-4000  
(505) 348-4055 FAX  
CONTACT: RICARDO MALDONADO

**CONSULTANTS / ENGINEERS**

WILSON & COMPANY 4401 MASTHEAD STREET NE SUITE 150 ALBUQUERQUE, NM 87109 (505) 348-4000 (505) 348-4055 FAX CONTACT: MARIO JUAREZ-INFANTE	CIVIL
WILSON & COMPANY 1700 E. IRON AVE. SALINA, KS 67401 (785) 820-2622 CONTACT: JAMES A. URBAN	STRUCTURAL
WILSON & COMPANY 4401 MASTHEAD STREET NE SUITE 150 ALBUQUERQUE, NM 87109 (505) 348-4000 (505) 348-4055 FAX CONTACT: BRANDON HENSLEY	M/E/P

CONSULTANTS

SEAL

PROJECT NAME:  
PREWITT SPEC BUILDING

DESCRIPTION

DATE

MARK

PROJECT NO:  
19-600-071-00  
DRAWN BY RLM  
CHECKED BY RXM  
SHEET TITLE  
COVER SHEET

G-001

SHEET 1 OF 1

REGULATORY INFORMATION

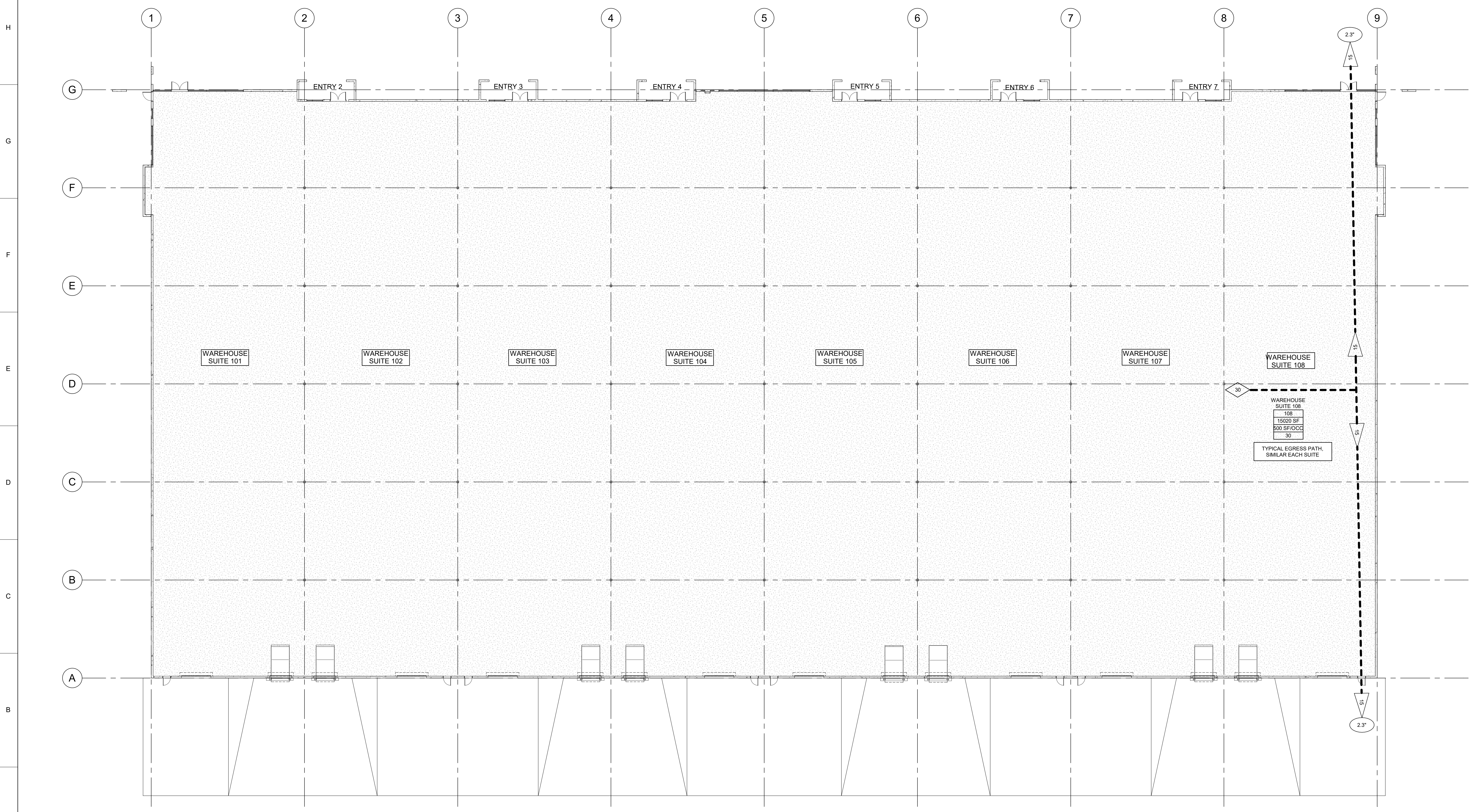
B. Applicable Regulatory Information:  
 a. 2017 New Mexico Electrical Code  
 b. 2015 New Mexico Building Code  
 c. 2015 New Mexico Mechanical Code  
 d. 2015 New Mexico Plumbing Code  
 e. 2015 New Mexico Fire Code (as Amended)  
 f. 2009 International Energy Conservation Code  
 g. ICC/ANSI A117.1-2009  
 C. Occupancy Group: Group B, F-1, F-2, S-1, and/or S-2 (Section 306.3, IBC)  
 D. Construction Type: II-B (Table 601, IBC)  
 E. Automatic Sprinkler System: Provided throughout in accordance with section 903.3, IBC.  
 F. Fire Suppression System Type: Wet Pipe System.  
 G. Building Area:  
 a. Allowable Area: Unlimited (Per Table 507.4, IBC)  
 b. Proposed Area: 117,798 GSF  
 H. (Gross square Feet is as measured to exterior face of walls)  
 Allowable Height:  
 a. Allowable Height: 55 Feet (Per Table 504.3, IBC)  
 b. Proposed Height: 40 Feet  
 I. Allowable Stories:  
 a. Allowable Stories: 3 Stories (Per Table 504.4, IBC)  
 b. Proposed Stories: 1 Story  
 J. Fire-Resistance Rating Requirements for Exterior Walls: Not Required  
 (Fire Separation Distance = Greater than or equal to 30' Per Table 602, IBC)  
 Corridor Resistance Rating: Not Required  
 (Corridors Not Used: Table 1018.1, IBC)  
 K. Interior Wall and Ceiling Finish Requirements by Occupancy (Table 803.9):  
 a. Occupancy F-2:  
 i. Exit Enclosures and Exit Passageways Flame Spread Index: B  
 ii. Corridors Flame Spread Index: C  
 M. Minimum Roof Covering Classification:  
 a. Class B (Table 1505.1, IBC)  
 N. Occupancy Separation:  
 a. None Required (Per Section 508.3.2)  
 O. Maximum Travel Distance: (Section 1017.2, IBC)  
 a. Maximum Allowable Travel Distance: 400 FT  
 b. Proposed Maximum Travel Distance: 120 FT  
 P. Maximum Occupant Load for Spaces with One Exit or Exit Access Doorway (Table 1015.1): 1,500

LEGEND

SYMBOL/ABBREVIATION:	DESCRIPTION	SPECIFICATION
PH	PANIC HARDWARE	08 7100
---	PATH OF EGRESS	
0.00"	REQUIRED EGRESS WIDTH	
0.00	ACCUMULATED OCCUPANT LOAD IN DIRECTION OF EGRESS	
0.00	IBC 2015 OCCUPANT LOAD	
RM NAME	INDIVIDUAL ROOM CODE INFORMATION	
RM #		
RM SF		
SF FACTOR		
OCC LOAD		

GENERAL SHEET NOTES

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 4401 MASTHEAD STREET NE  
 SUITE 150  
 ALBUQUERQUE, NM 87109  
 PHONE: (505) 948-4000



A1 FIRST FLOOR CODE REVIEW PLAN  
 1/16" = 1'-0"

CONSULTANTS  
 SEAL  
 PROJECT NAME:  
 PREWITT SPEC BUILDING

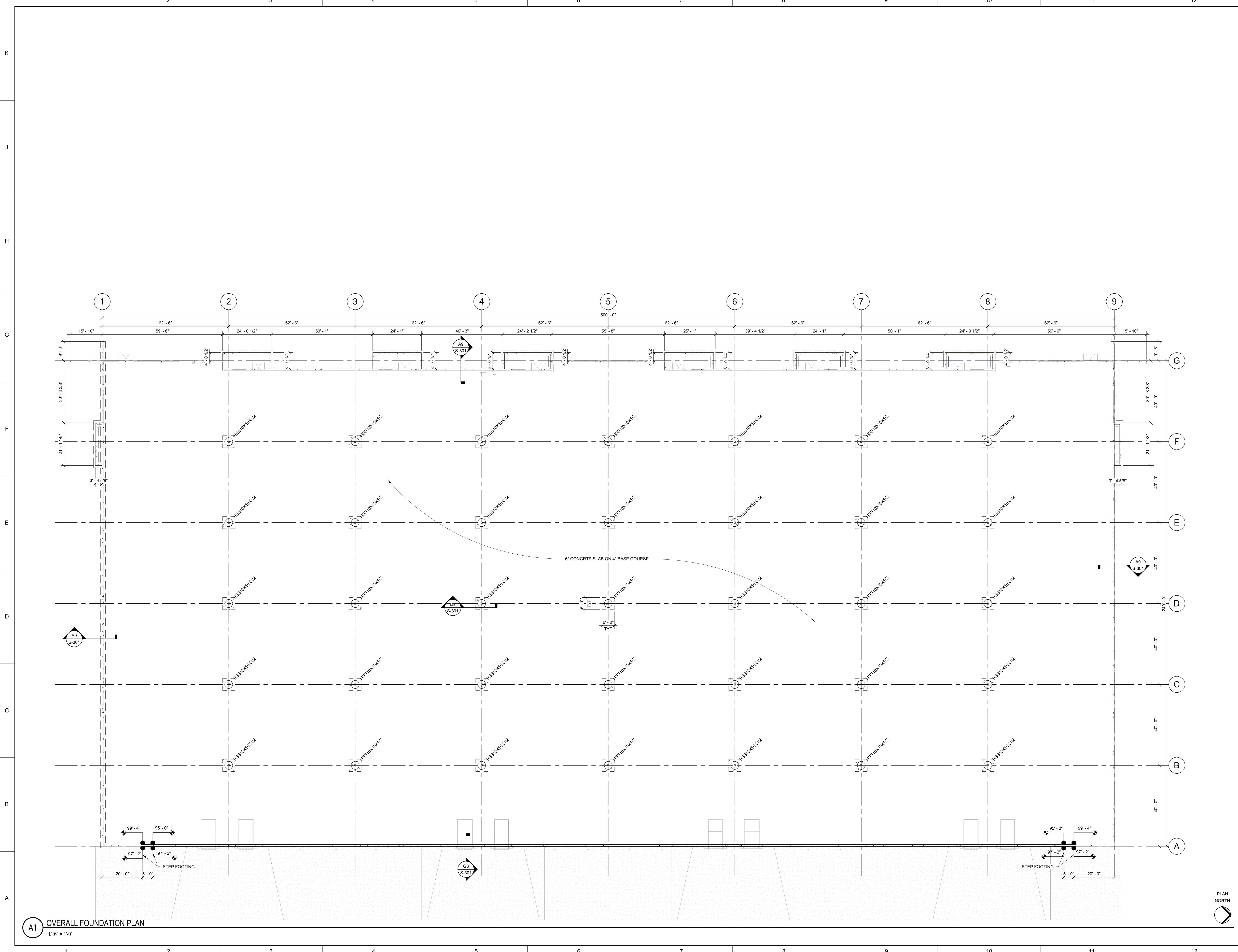
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 DRAWN BY: RLM  
 CHECKED BY: RXM  
 SHEET TITLE:  
 CODE INFORMATION  
 SHEET \_\_\_ OF \_\_\_

PLAN NORTH  
**G-002**  
 SHEET \_\_\_ OF \_\_\_

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**A1** OVERALL FOUNDATION PLAN  
 1/16" = 1'-0"

CONSULTANTS

SEAL

PROJECT NAME:  
**MILAM-PREWITT SPEC BUILDING**

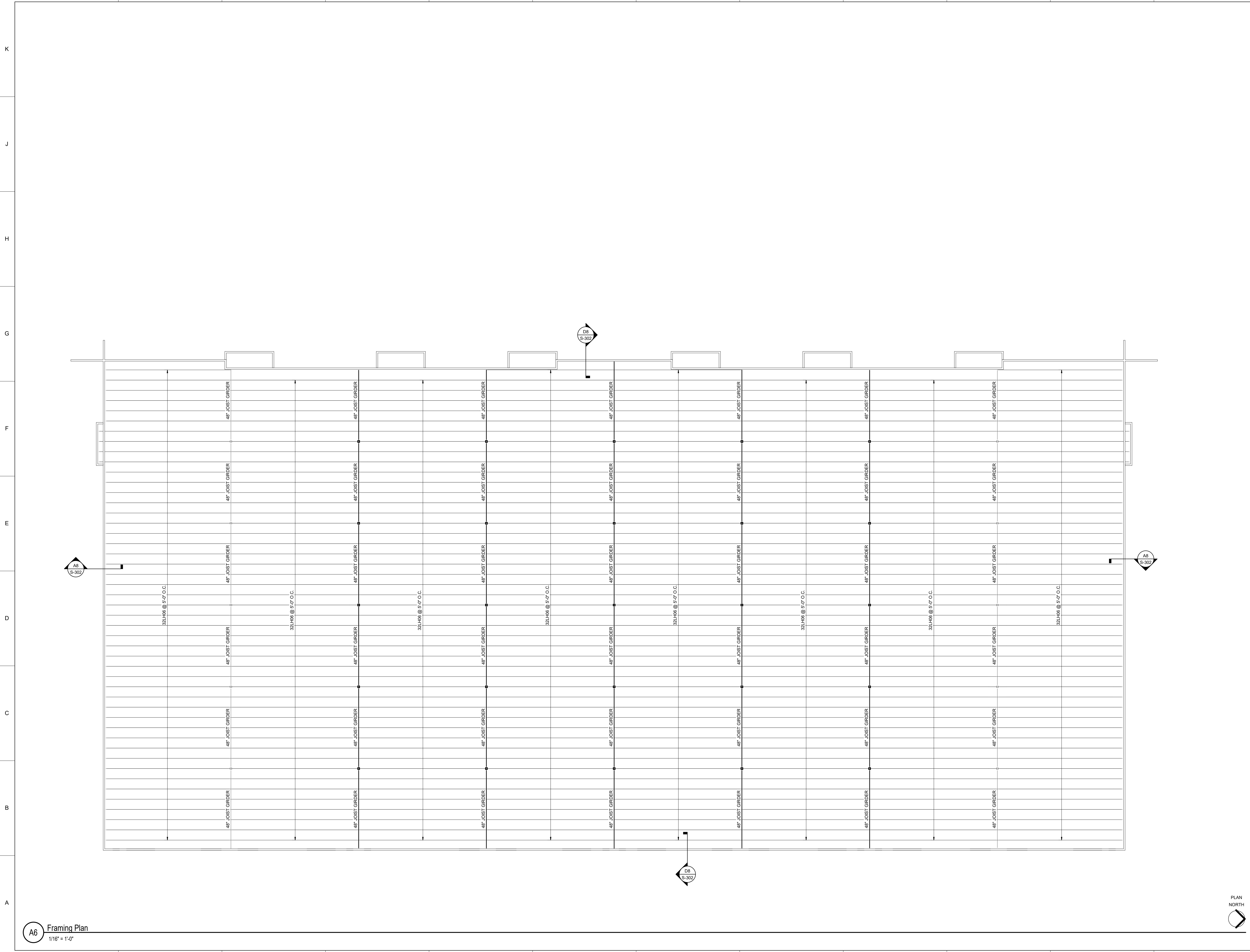
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 CHECKED BY: JAU  
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**OVERALL FOUNDATION PLAN**

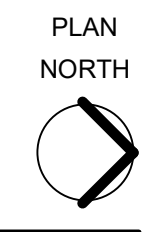
PLAN NORTH  
**S-101**  
 SHEET OF

8/10/2020 4:21:49 PM

8/10/2020 4:21:51 PM



**A6** Framing Plan  
 1/16" = 1'-0"



PROJECT NO:  
19-800-071-00  
 DRAWN BY: MEY  
 CHECKED BY: JAU  
 SHEET TITLE  
**OVERALL  
 FRAMING  
 PLAN**

MARK	DATE	DESCRIPTION

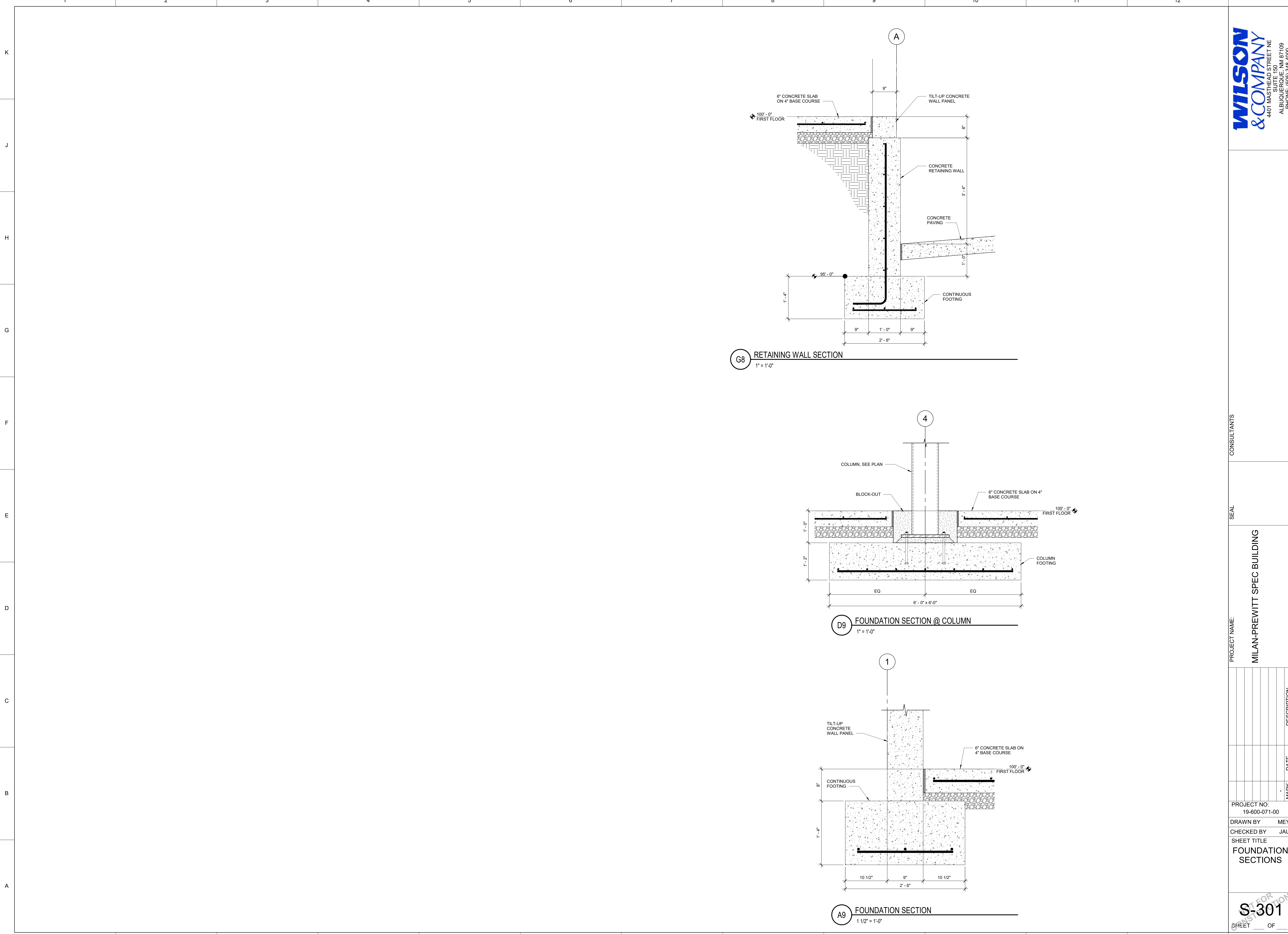
PROJECT NAME:  
**MILAM-PREWITT SPEC BUILDING**

CONSULTANTS

**WILSON  
& COMPANY**  
 4401 MASTHEAD STREET NE  
 SUITE 150  
 ALBUQUERQUE, NM 87109  
 PHONE: (505) 346-4000

**S-102**  
 SHEET \_\_\_ OF \_\_\_

8/10/2020 4:21:52 PM



**G8** RETAINING WALL SECTION  
1" = 1'-0"

**D9** FOUNDATION SECTION @ COLUMN  
1" = 1'-0"

**A9** FOUNDATION SECTION  
1 1/2" = 1'-0"

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CONSULTANTS

SEAL

PROJECT NAME:  
**MILAN-PREWITT SPEC BUILDING**

MARK	DATE	DESCRIPTION

PROJECT NO:  
19-800-071-00  
DRAWN BY MEY  
CHECKED BY JAU  
SHEET TITLE  
**FOUNDATION SECTIONS**

**S-301**  
SHEET OF

1 2 3 4 5 6 7 8 9 10 11 12

K  
J  
H  
G  
F  
E  
D  
C  
B  
A

**WILSON  
& COMPANY**  
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SUITE 150  
ALBUQUERQUE, NM 87109  
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CONSULTANTS

SEAL

PROJECT NAME:

MILAN-PREWITT SPEC BUILDING

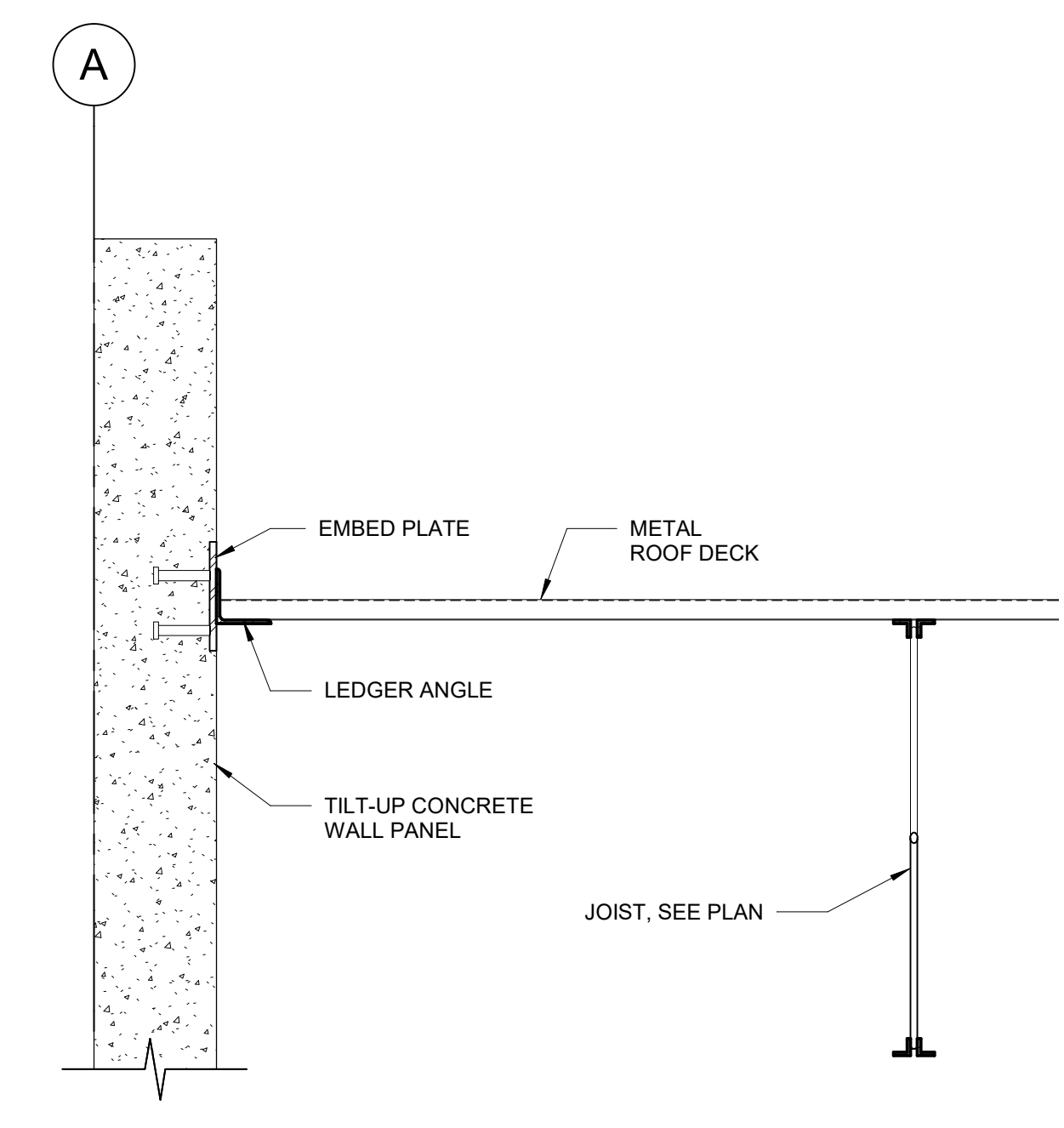
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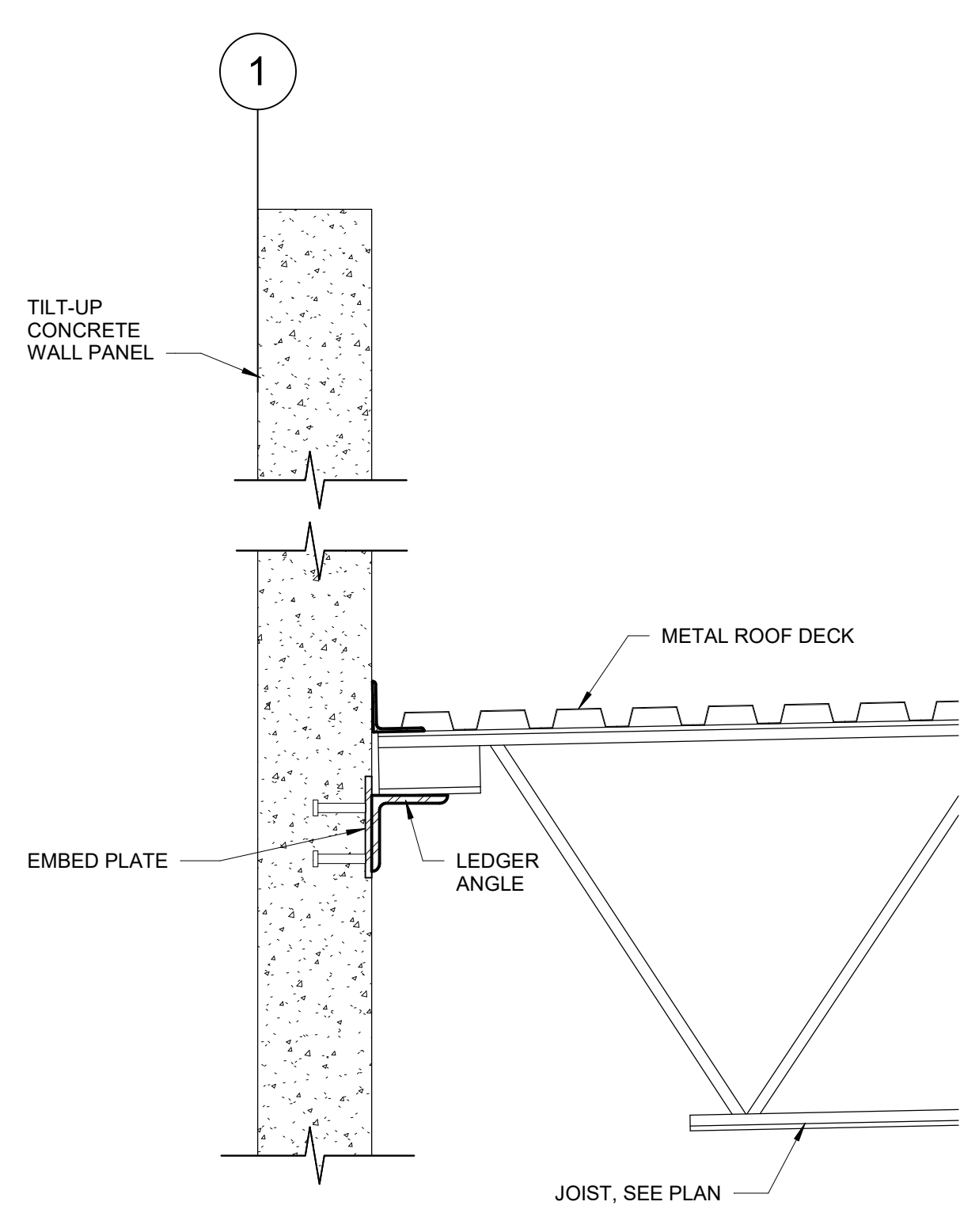
DRAWN BY MEY  
CHECKED BY JAU

SHEET TITLE  
ROOF  
FRAMING  
SECTIONS

**S-302**  
SHEET \_\_\_ OF \_\_\_



**D8** JOIST PARALLEL TO TILT-UP WALL PANEL  
1" = 1'-0"



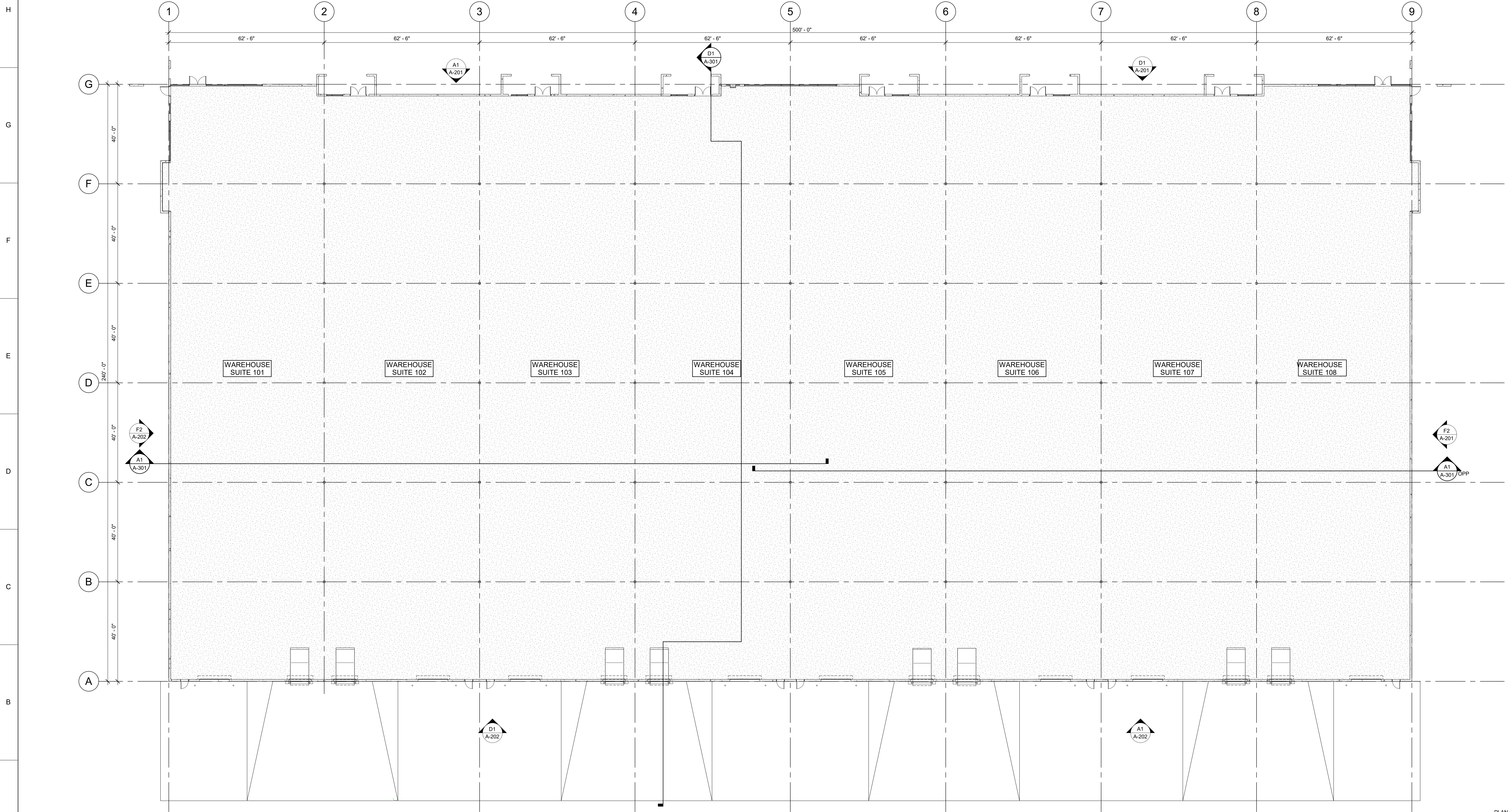
**A8** JOIST BEARING SECTION @ TILT-UP WALL PANEL  
1" = 1'-0"

8/10/2020 4:21:52 PM

1 2 3 4 5 6 7 8 9 10 11 12

SHEET KEYNOTES	REFERENCE KEYNOTES	KEYPLAN	GENERAL SHEET NOTES
			<p>1. REFER TO CIVIL PLANS FOR EXTERIOR PAVEMENTS IN CONTACT WITH BUILDING.</p>

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CONSULTANTS

SEAL

PROJECT NAME:

PREWITT SPEC BUILDING

MARK

DATE

DESCRIPTION

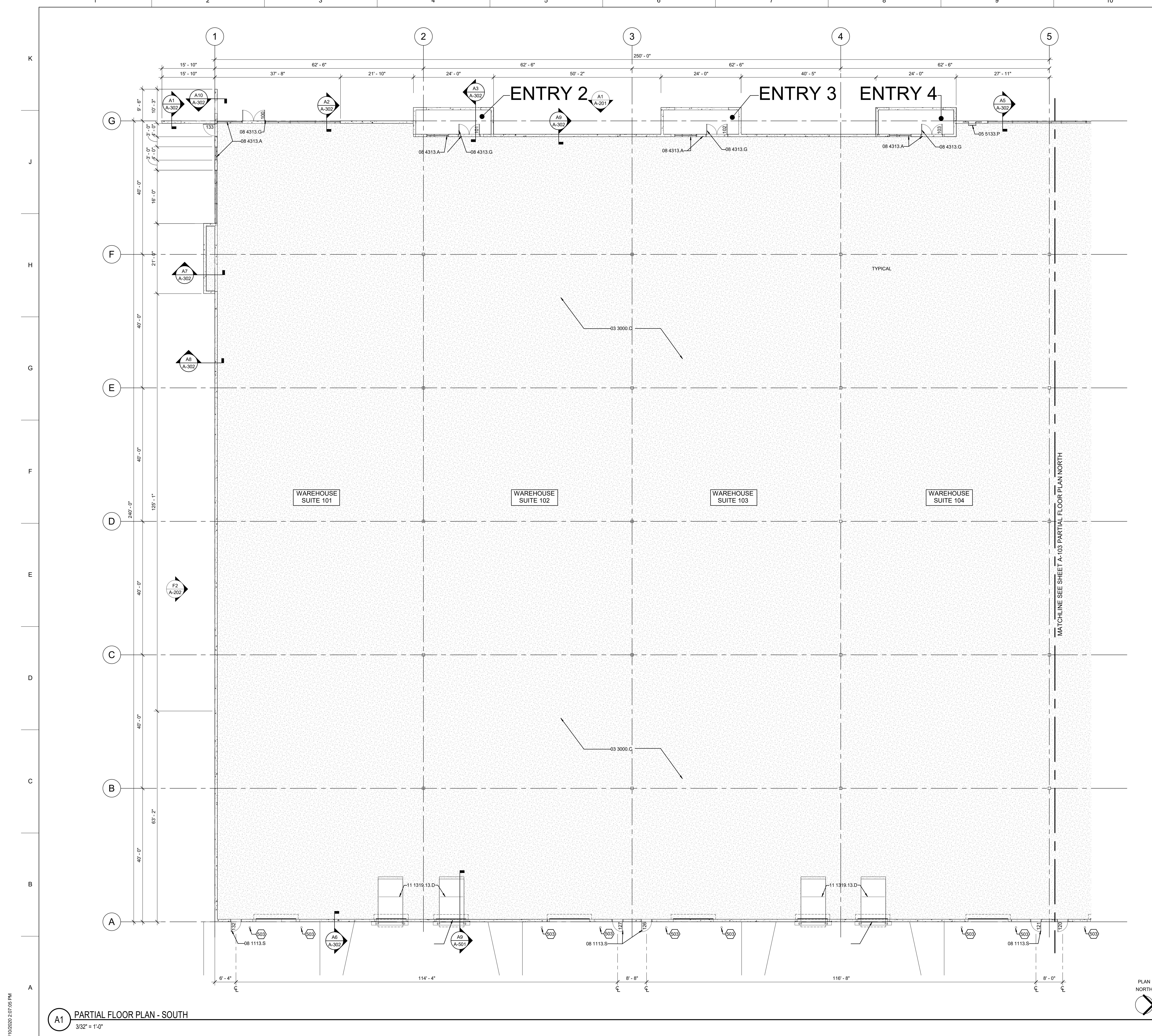
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19-600-071-00  
 DRAWN BY: RLM  
 CHECKED BY: RXM  
 SHEET TITLE:  
**OVERALL FLOOR PLAN**

PLAN NORTH

**A-101**  
 SHEET \_\_\_ OF \_\_\_

8/10/2020 2:07:01 PM

**A1** OVERALL FLOOR PLAN  
 1/16" = 1'-0"



**A1** PARTIAL FLOOR PLAN - SOUTH  
3/32" = 1'-0"

**GENERAL SHEET NOTES**

- REFER TO STRUCTURAL FOUNDATION PLAN FOR CONCRETE AND MASONRY REINFORCING.

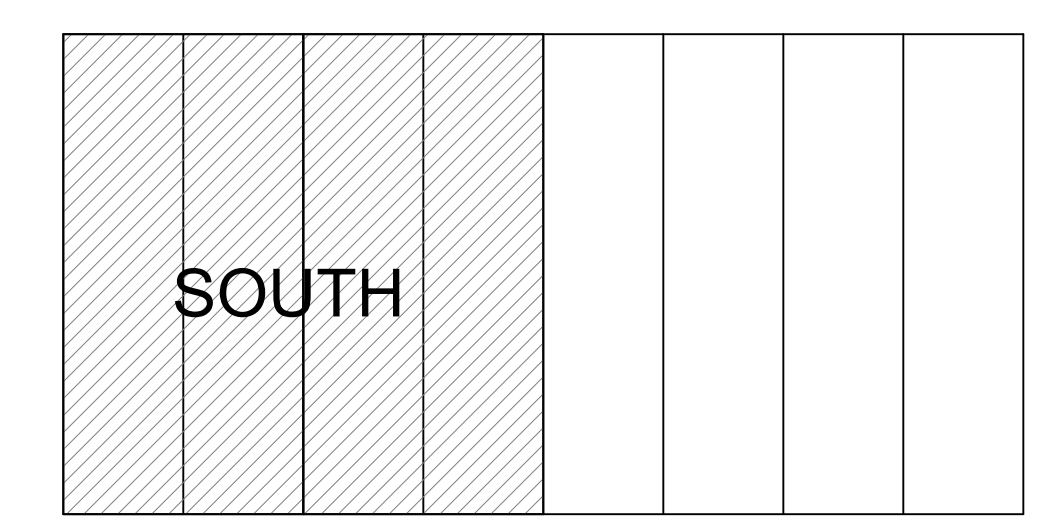
**REFERENCE KEYNOTES**

- |              |                            |
|--------------|----------------------------|
| 03 3000.C    | CAST-IN-PLACE CONCRETE     |
| 05 5133.P    | PREFABRICATED LADDER       |
| 08 1113.S    | STEEL DOOR                 |
| 08 4313.A    | ALUMINUM FRAMED STOREFRONT |
| 08 4313.G    | GLAZED ALUMINUM DOOR       |
| 11 1319.13.D | DOCK LEVELER               |

**SHEET KEYNOTES**

- |     |                             |
|-----|-----------------------------|
| 503 | CONCRETE AND STEEL BOLLARD. |
|-----|-----------------------------|

**KEYPLAN**



**WILSON & COMPANY**  
ALBUQUERQUE, NM 87109  
SUITE 150  
PHONE: (505) 948-4000

CONSULTANTS

SEAL

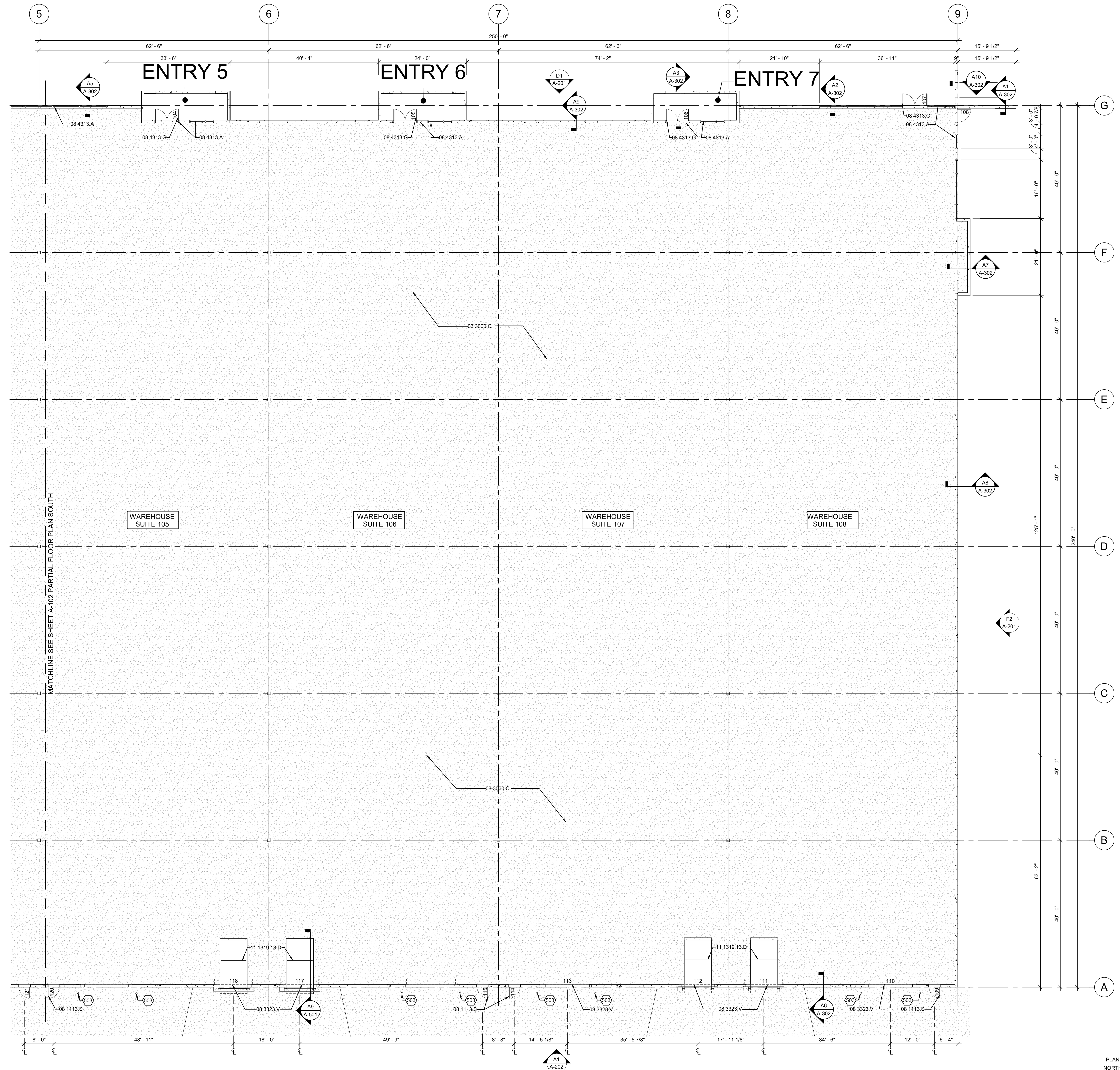
PROJECT NAME:  
**PREWITT SPEC BUILDING**

MARK	DATE	DESCRIPTION

PROJECT NO:  
19-600-071-00  
DRAWN BY: RLM  
CHECKED BY: RXM  
SHEET TITLE:  
**PARTIAL FLOOR PLAN SOUTH**

**A-102**  
SHEET \_\_\_ OF \_\_\_

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MATCHLINE SEE SHEET A-102 PARTIAL FLOOR PLAN SOUTH

WAREHOUSE SUITE 105

WAREHOUSE SUITE 106

WAREHOUSE SUITE 107

WAREHOUSE SUITE 108

ENTRY 5

ENTRY 6

ENTRY 7

**A1** PARTIAL FLOOR PLAN - NORTH  
3/32" = 1'-0"



**GENERAL SHEET NOTES**

1. REFER TO STRUCTURAL FOUNDATION PLAN FOR CONCRETE AND MASONRY REINFORCING.

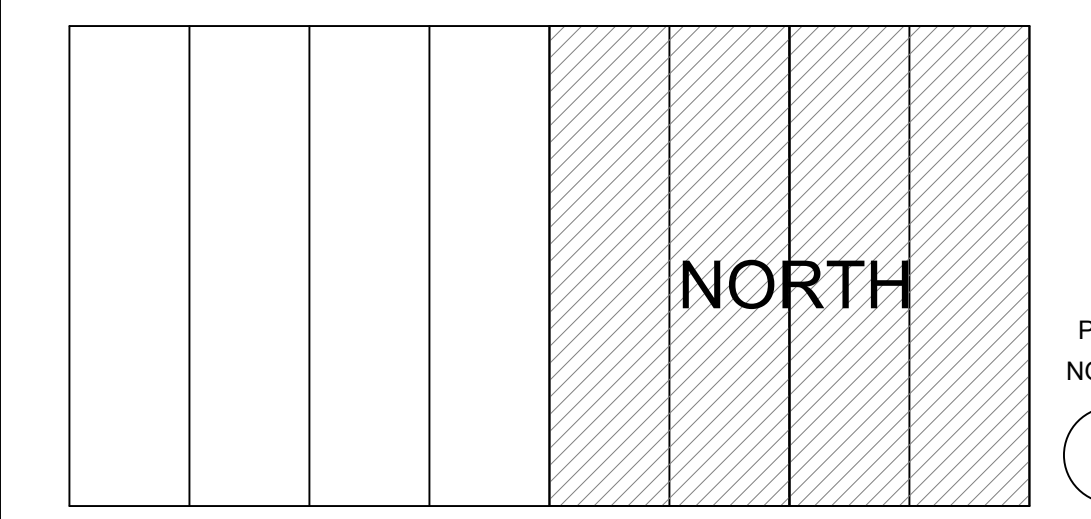
**REFERENCE KEYNOTES**

- 03 3000.C CAST-IN-PLACE CONCRETE
- 08 1113.S STEEL DOOR
- 08 3323.V OVERHEAD COILING DOOR
- 08 4313.A ALUMINUM FRAMED STOREFRONT
- 08 4313.G GLAZED ALUMINUM DOOR
- 11 1319.13.D DOCK LEVELER

**SHEET KEYNOTES**

- 503 CONCRETE AND STEEL BOLLARD.

**KEYPLAN**



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SUITE 150  
PHONE: (505) 946-4000

CONSULTANTS

SEAL

PROJECT NAME:  
**PREWITT SPEC BUILDING**

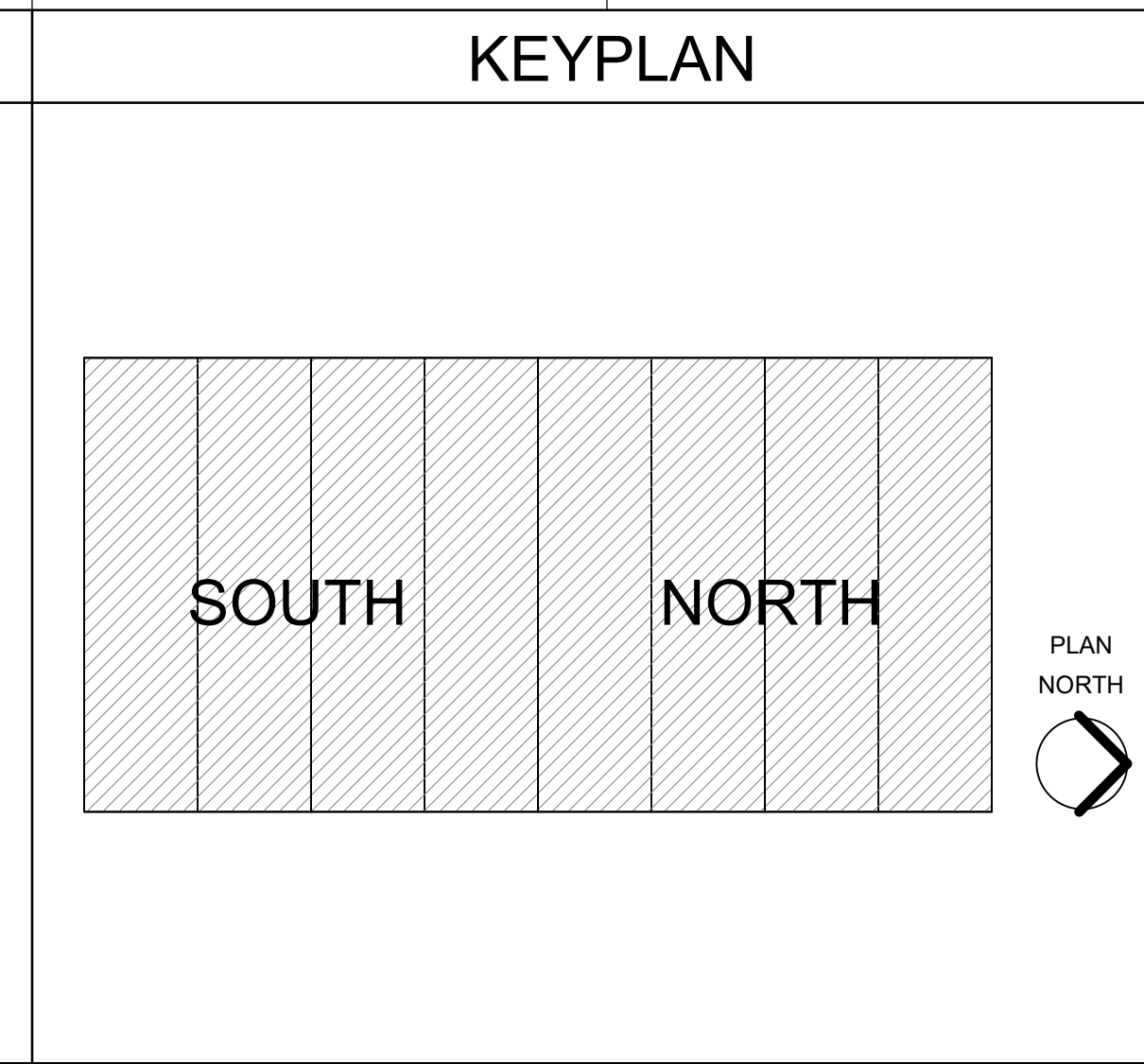
MARK	DATE	DESCRIPTION

PROJECT NO:  
19-600-071-00  
DRAWN BY: RLM  
CHECKED BY: Checker  
SHEET TITLE:  
**PARTIAL FLOOR PLAN NORTH**  
**A-103**  
SHEET \_\_\_ OF \_\_\_

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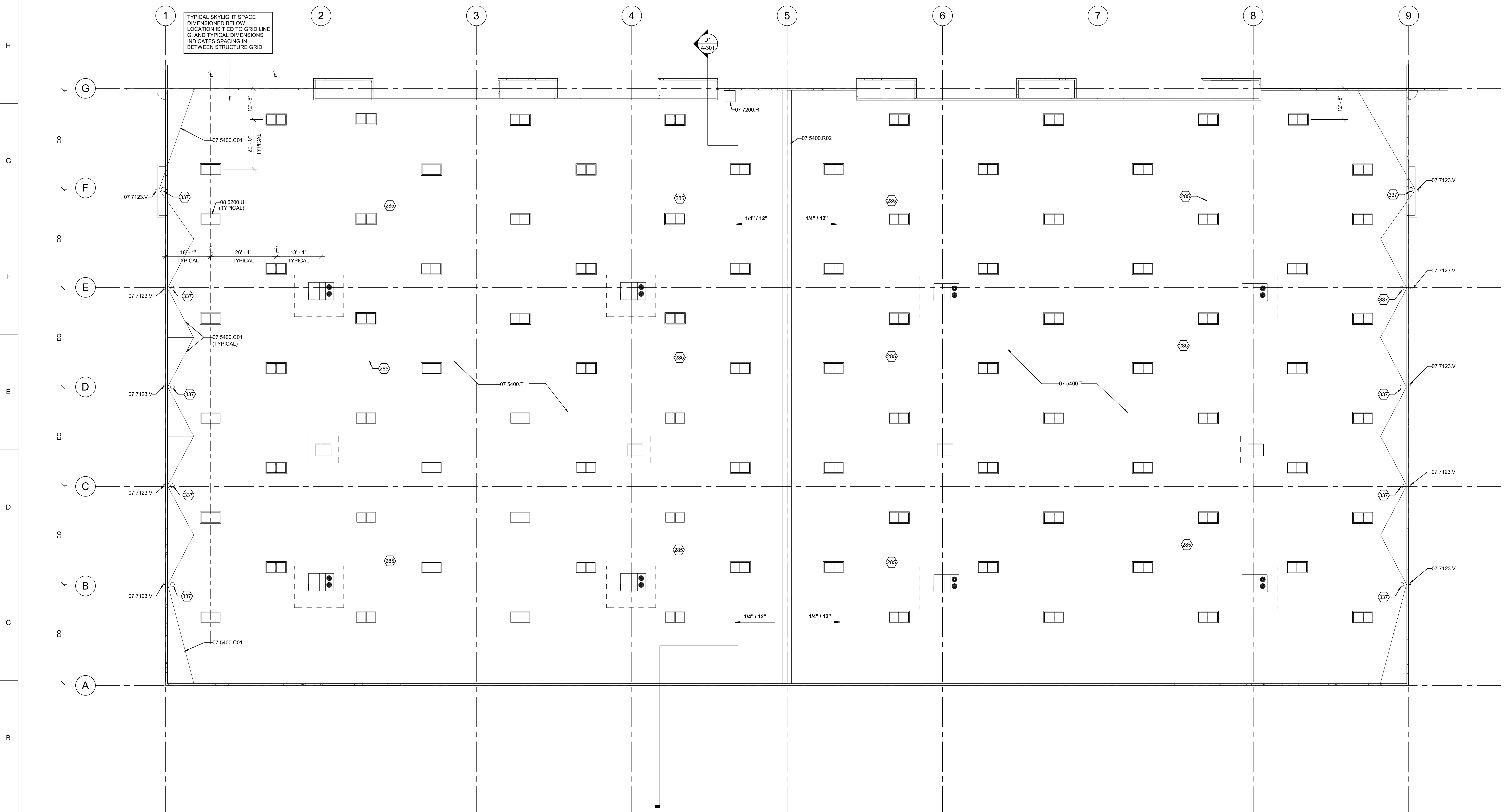
SHEET KEYNOTES	
285	MECHANICAL EQUIPMENT.
337	PLUMBING ROOF DRAIN.

REFERENCE KEYNOTES	
07 5400.C01	CRICKET
07 5400.R02	ROOFING EXPANSION JOINT FLASHING
07 5400.T	TPO MEMBRANE
07 7123.V	OVERFLOW CUT-OUT
07 7200.R	ROOF HATCH
08 6200.U	UNIT SKYLIGHT

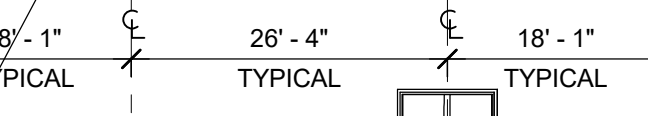
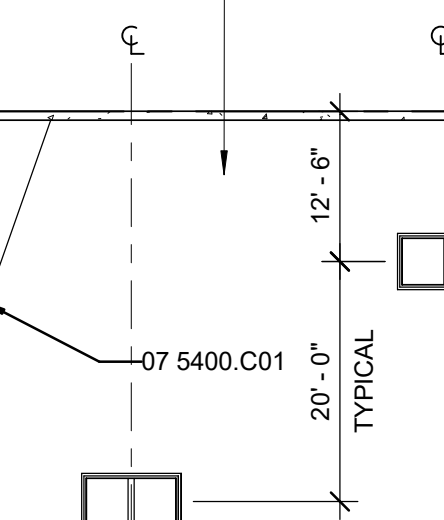


GENERAL SHEET NOTES	
1.	ROOF MOUNTED APPLIANCES, EQUIPMENT, FANS, OR OTHER COMPONENTS THAT REQUIRE SERVICE. LOCATE 10 FEET MINIMUM FROM ROOF EDGES AND PARAPETS.
2.	PROVIDE TAPERED CRICKETS ON THE UPSLOPE SIDES OF RECTANGULAR PENETRATIONS WITH A DIMENSION GREATER THAN 18 INCHES PERPENDICULAR TO SLOPE.
3.	PROVIDE ROOF WALK PADS FROM ACCESS LADDER TO ALL MECHANICAL EQUIPMENT.

**WILSON & COMPANY**  
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TYPICAL SKYLIGHT SPACE DIMENSIONED BELOW. LOCATION IS TIED TO GRID LINE G. AND TYPICAL DIMENSIONS INDICATES SPACING IN BETWEEN STRUCTURE GRID.



**A1** OVERALL ROOF PLAN  
 1/16" = 1'-0"

CONSULTANTS

SEAL

PROJECT NAME:

**PREWITT SPEC BUILDING**

MARK

DATE

DESCRIPTION

PROJECT NO:	19-800-071-00
DRAWN BY	RLM
CHECKED BY	RXM
SHEET TITLE	OVERALL ROOF PLAN

PLAN NORTH

**A-104**  
 SHEET OF

8/10/2020 2:07:15 PM



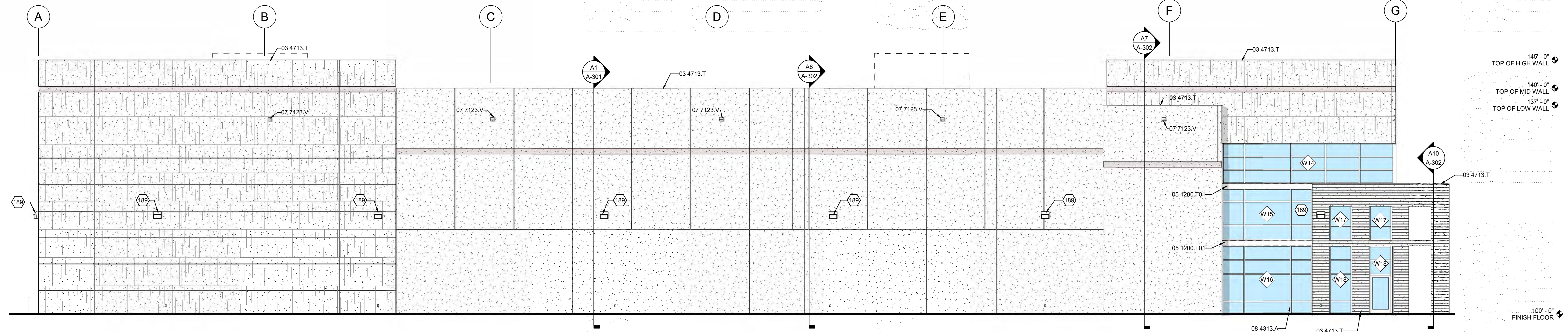
REFERENCE KEYNOTES	
189	ELECTRICAL LIGHT FIXTURE.

REFERENCE KEYNOTES	
03 4713.T	TILT-UP PRECAST CONCRETE UNIT(S)
05 1200.T01	TUBE STEEL FRAMING MEMBER
07 7123.V	OVERFLOW CUT-OUT
08 4313.A	ALUMINUM FRAMED STOREFRONT
08 4313.G	GLAZED ALUMINUM DOOR

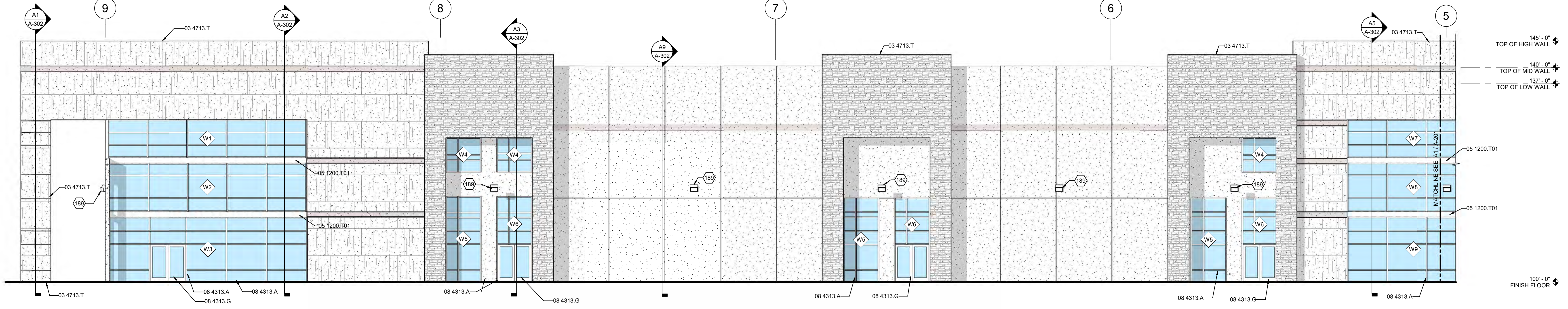
LEGEND	
	ACCENT COLOR
	FIELD COLOR
	GLAZING
	WINDOW TAG. REFERENCE SHEET A-601 FOR ADDITIONAL INFORMATION.

GENERAL SHEET NOTES	
1.	FINISH FLOOR ELEVATIONS INDICATED ARE BASED ON AN ELEVATION OF 100'-0" REFER TO CIVIL GRADING AND DRAINAGE PLAN FOR CONTROL DATUM AND BENCHMARK INFORMATION.
2.	REFER TO STRUCTURAL FOUNDATION PLAN FOR CONCRETE REINFORCING.

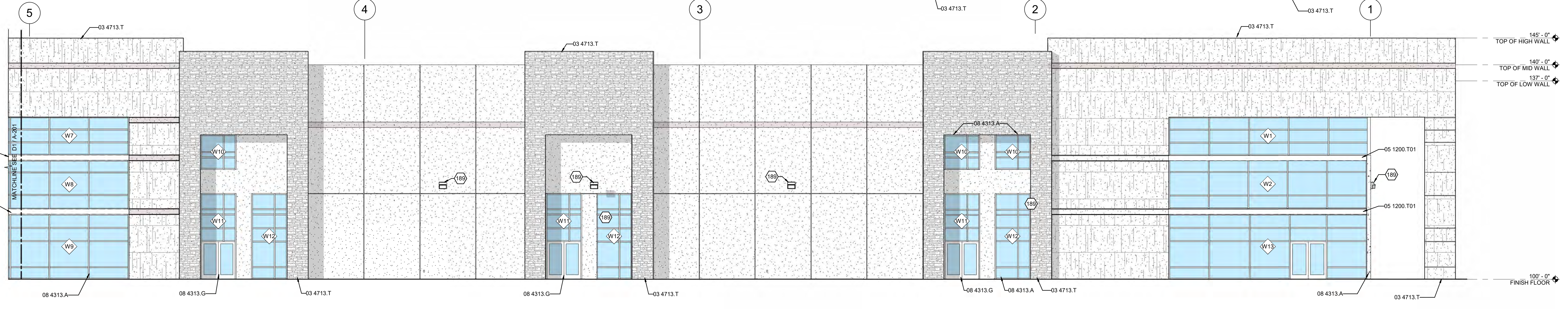
**WILSON & COMPANY**  
 4401 MASTHEAD STREET NE  
 SUITE 150  
 ALBUQUERQUE, NM 87109  
 PHONE: (505) 946-4000



**F2 NORTH ELEVATION**  
 1/8" = 1'-0"



**D1 WEST ELEVATION - SOUTH**  
 1/8" = 1'-0"



**A1 WEST ELEVATION - NORTH**  
 1/8" = 1'-0"

CONSULTANTS  
SEAL  
PROJECT NAME: PREMITT SPEC BUILDING

MARK	DATE	DESCRIPTION

PROJECT NO: 19-600-071-00  
 DRAWN BY: RLM  
 CHECKED BY: RXM  
 SHEET TITLE: EXTERIOR ELEVATIONS

**A-201**  
 SHEET OF

8/10/2020 2:07:21 PM

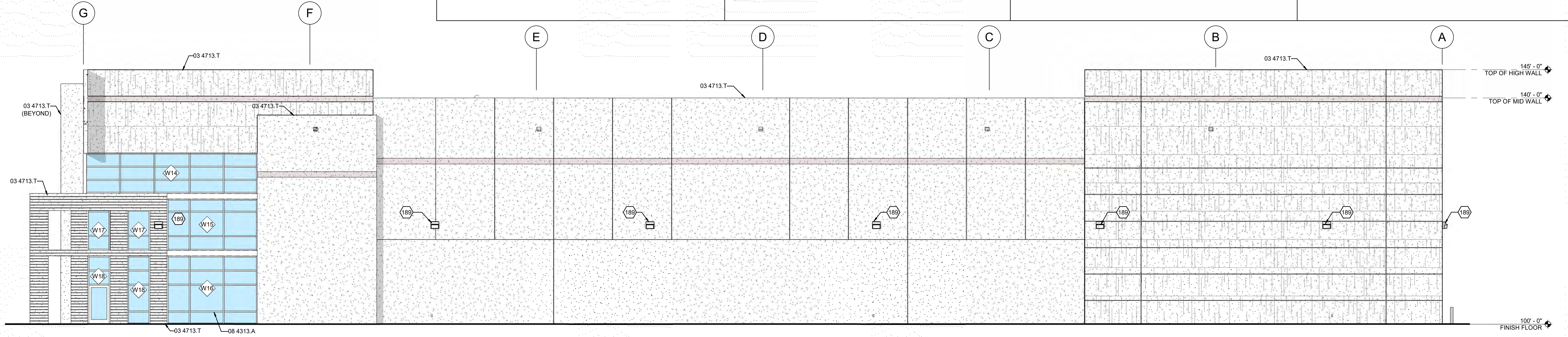
SHEET KEYNOTES	
189	ELECTRICAL LIGHT FIXTURE
503	CONCRETE AND STEEL BOLLARD
504	DOCK SEAL

REFERENCE KEYNOTES	
03 4713.T	TILT-UP PRECAST CONCRETE UNIT(S)
08 1113.S	STEEL DOOR
08 3323.V	OVERHEAD COILING DOOR
08 4313.A	ALUMINUM FRAMED STOREFRONT
11 1319.13.D	DOCK LEVELER
11 1319.13.D01	DOCK BUMPER

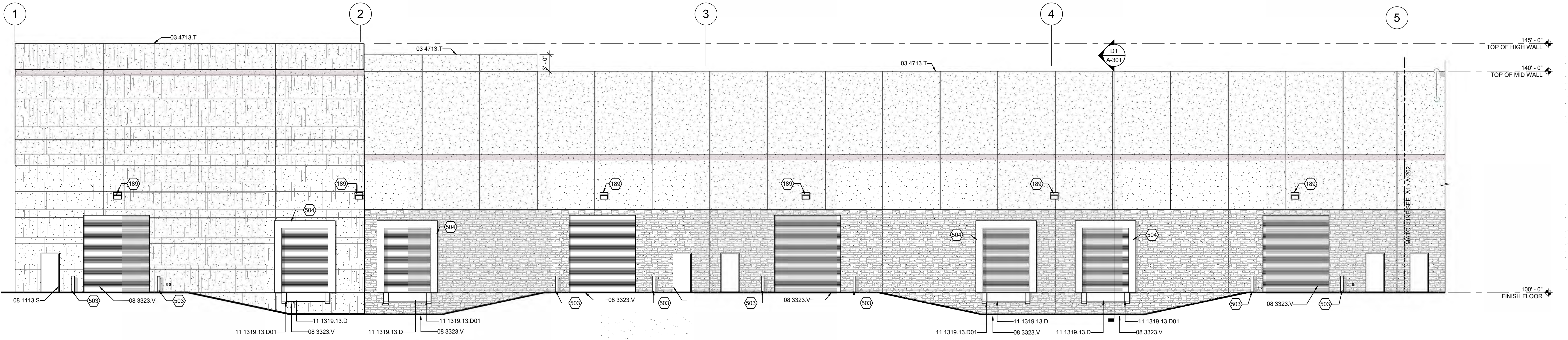
LEGEND	
	ACCENT COLOR
	FIELD COLOR
	GLAZING
	WINDOW TAG; REFERENCE SHEET A-601 FOR ADDITIONAL INFORMATION.

GENERAL SHEET NOTES	
1.	FINISH FLOOR ELEVATIONS INDICATED ARE BASED ON AN ELEVATION OF 100'-0" - REFER TO CIVIL GRADING AND DRAINAGE PLAN FOR CONTROL DATUM AND BENCHMARK INFORMATION.
2.	REFER TO STRUCTURAL FOUNDATION PLAN FOR CONCRETE REINFORCING.

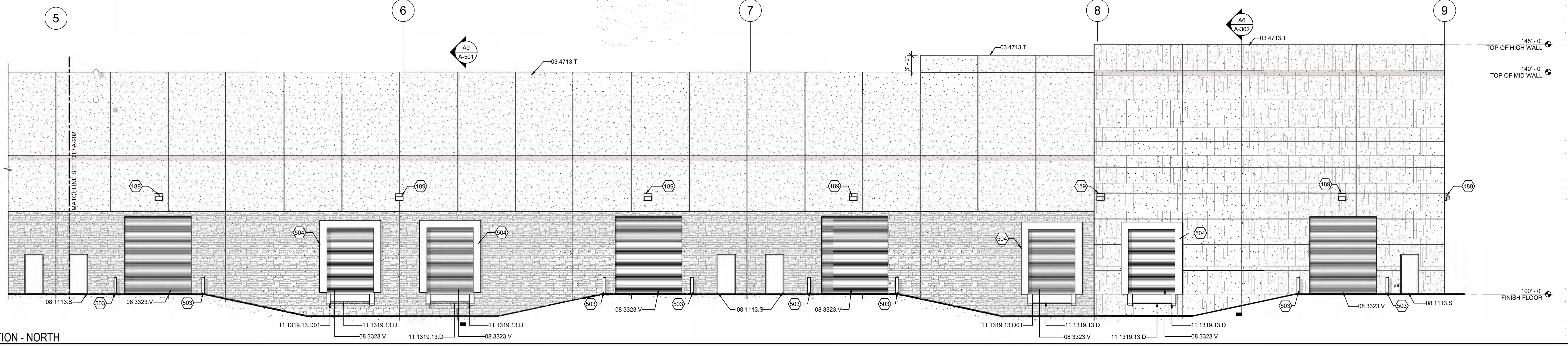
**WILSON & COMPANY**  
 4401 MASTHEAD STREET NE  
 SUITE 150  
 ALBUQUERQUE, NM 87109  
 PHONE: (505) 346-4000



**F2 SOUTH ELEVATION**  
 1/8" = 1'-0"



**D1 EAST ELEVATION - SOUTH**  
 1/8" = 1'-0"



**A1 EAST ELEVATION - NORTH**  
 1/8" = 1'-0"

CONSULTANTS  
 SEAL  
 PROJECT NAME: PREMITT SPEC BUILDING

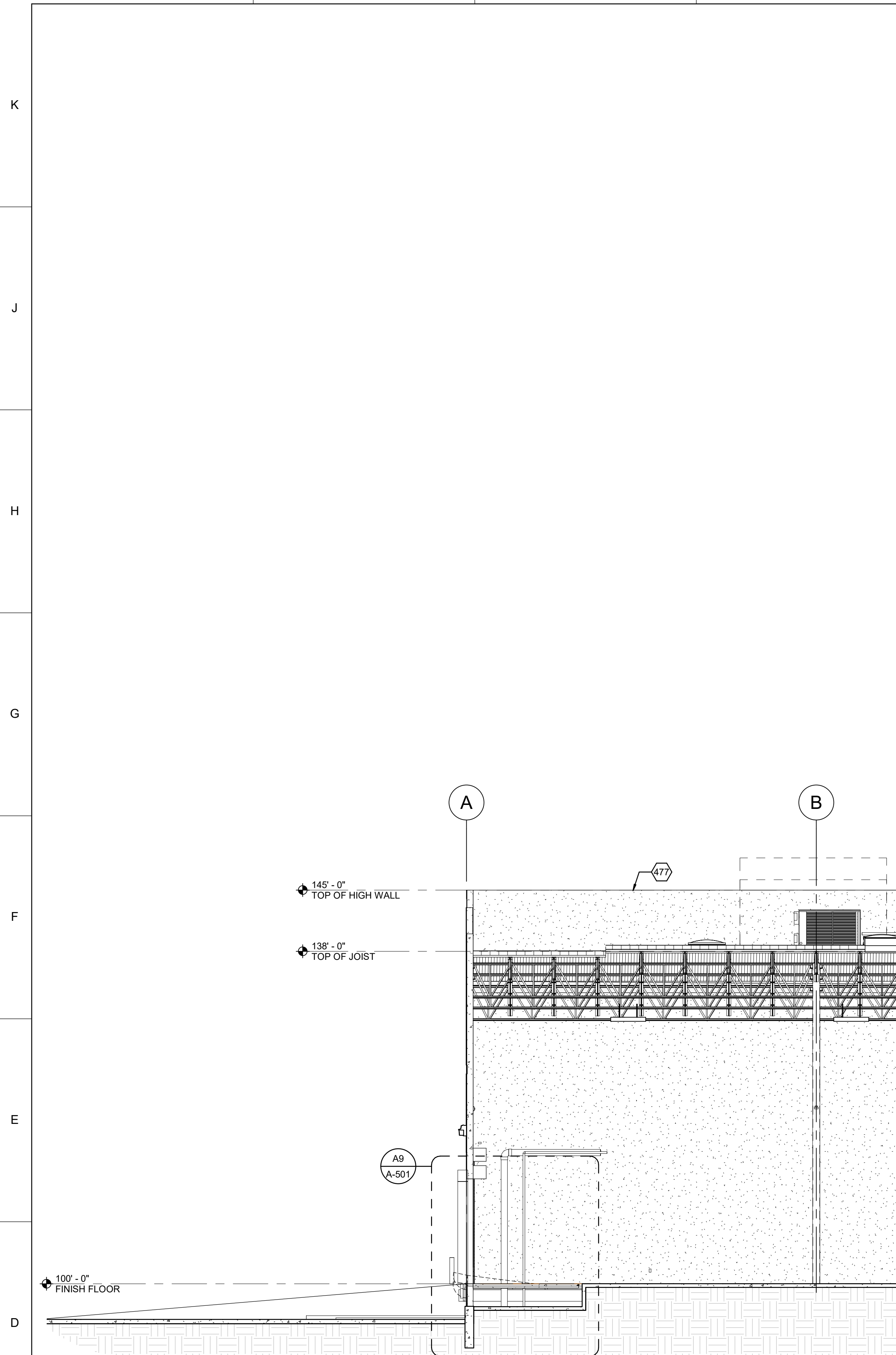
NO.	DATE	DESCRIPTION

PROJECT NO: 19-600-071-00  
 DRAWN BY: RLM  
 CHECKED BY: RXM  
 SHEET TITLE: EXTERIOR ELEVATIONS  
**A-202**  
 SHEET OF

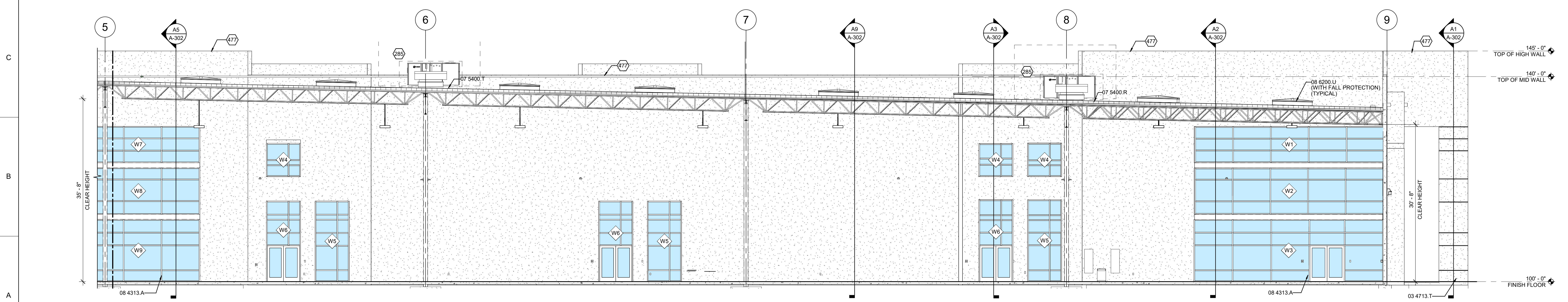
8/10/2020 2:07:46 PM

SHEET KEYNOTES		REFERENCE KEYNOTES		LEGEND		GENERAL SHEET NOTES	
393	STRUCTURAL COLUMN.	03 4713.T	TILT-UP PRECAST CONCRETE UNIT(S)		ACCENT COLOR	1.	CEILING HEIGHTS: REFER TO REFLECTED CEILING PLAN. ELEVATIONS INDICATED ARE BASED ON A FINISH FLOOR ELEVATION OF 100'-0" - REFER TO CIVIL GRADING AND DRAINAGE PLAN FOR ACTUAL CONTROL DATUM AND BENCHMARK INFORMATION.
409	STRUCTURAL JOIST.	07 5400.R	ROOF INSULATION		FIELD COLOR	2.	
477	WALL BEYOND.	07 5400.T	TPO MEMBRANE		GLAZING		
		08 4313.A	ALUMINUM FRAMED STOREFRONT		WINDOW TAG; REFERENCE SHEET A-601 FOR ADDITIONAL INFORMATION.		
		08 6200.U	UNIT SKYLIGHT				

**WILSON & COMPANY**  
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 SUITE 150  
 ALBUQUERQUE, NM 87109  
 PHONE: (505) 946-4000



**D1** TRANSVERSE SECTION  
 1/8" = 1'-0"



**A1** LONGITUDINAL SECTION - NORTH SECTION  
 1/8" = 1'-0"

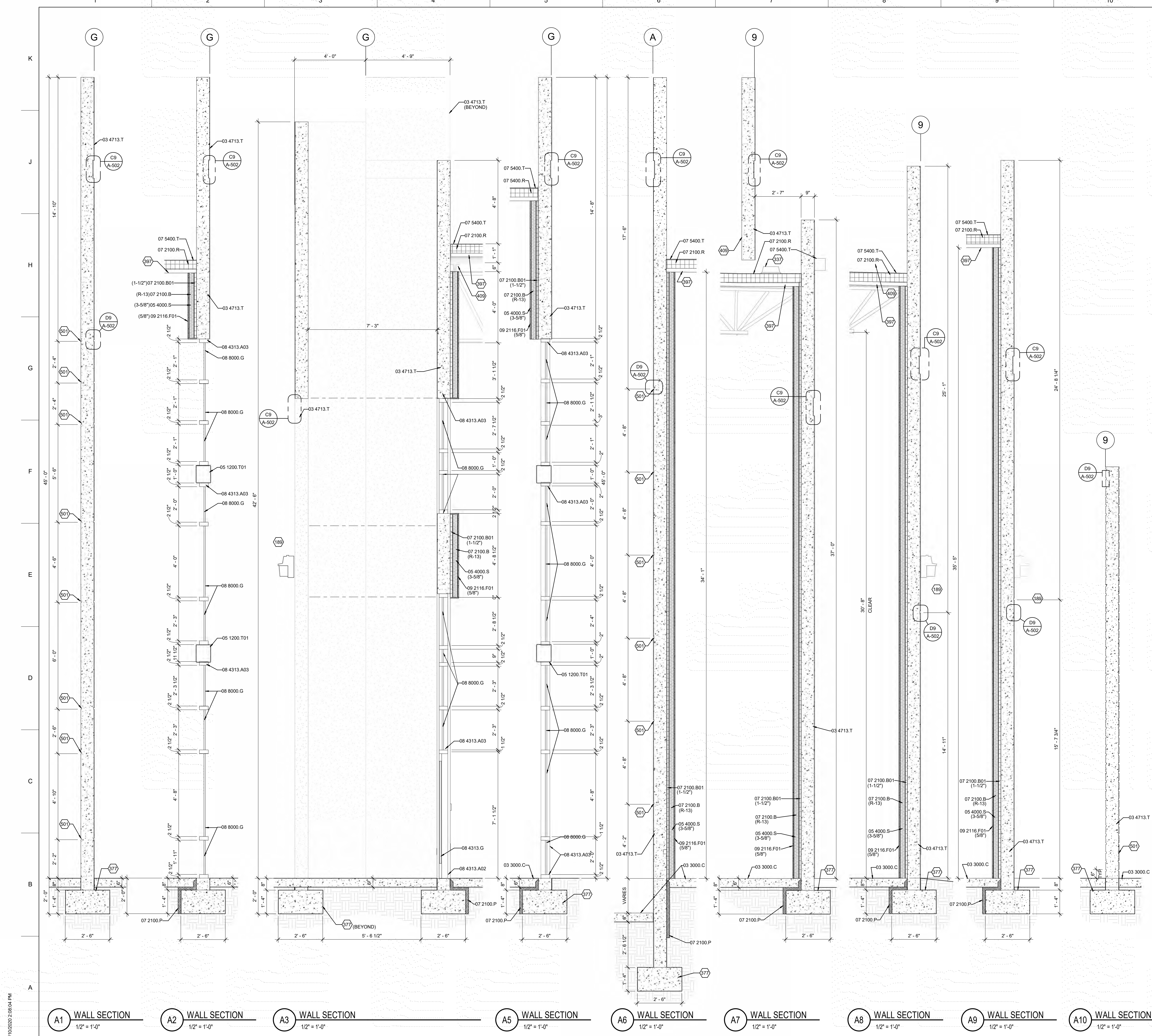
PROJECT NAME: PREMITT SPEC BUILDING

MARK	DATE	DESCRIPTION

PROJECT NO: 19-600-071-00  
 DRAWN BY: RLM  
 CHECKED BY: RXM  
 SHEET TITLE: BUILDING SECTIONS

**A-301**  
 SHEET OF

8/11/2020 11:47:25 AM



REFERENCE KEYNOTES

- 03 3000.C CAST-IN-PLACE CONCRETE
- 03 4713.T TILT-UP PRECAST CONCRETE UNIT(S)
- 05 1200.T01 TUBE STEEL FRAMING MEMBER
- 05 4000.S STEEL STUD
- 07 2100.B BLANKET INSULATION
- 07 2100.B01 BOARD INSULATION
- 07 2100.P PERIMETER INSULATION
- 07 2100.R ROOF INSULATION
- 07 5400.R ROOF INSULATION
- 07 5400.T TPO MEMBRANE
- 08 4313.A02 ALUMINUM DOOR FRAME
- 08 4313.A03 ALUMINUM WINDOW FRAME
- 08 4313.G GLAZED ALUMINUM DOOR
- 08 8000.G GLAZING
- 09 2116.F01 FIRE RATED GYPSUM BOARD

SHEET KEYNOTES

- 337 PLUMBING ROOF DRAIN
- 377 STRUCTURAL CAST-IN-PLACE CONCRETE FOUNDATION
- 397 STRUCTURAL DECK
- 409 STRUCTURAL JOIST
- 501 1" x 3/4" DEEP REVEAL CAST INTO PANEL

**WILSON & COMPANY**  
 4401 MASTHEAD STREET NE  
 ALBUQUERQUE, NM 87109  
 PHONE: (505) 946-4000

CONSULTANTS

SEAL

PROJECT NAME:  
**PREMITT SPEC BUILDING**

MARK	DATE	DESCRIPTION

PROJECT NO:  
 19-600-071-00  
 DRAWN BY: RLM  
 CHECKED BY: RXM  
 SHEET TITLE:  
**WALL SECTIONS**

**A-302**  
 SHEET OF

8/10/2020 2:08:04 PM

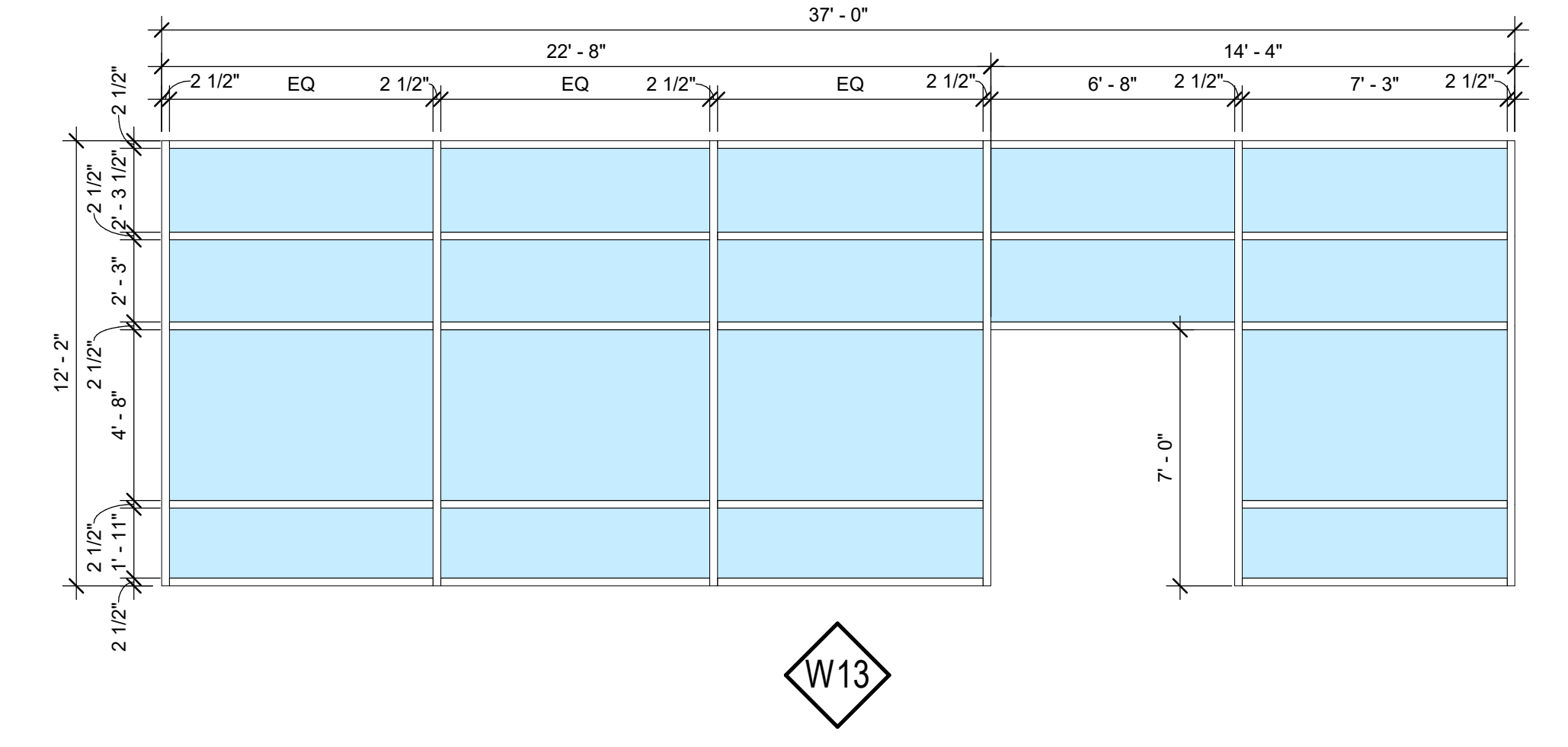
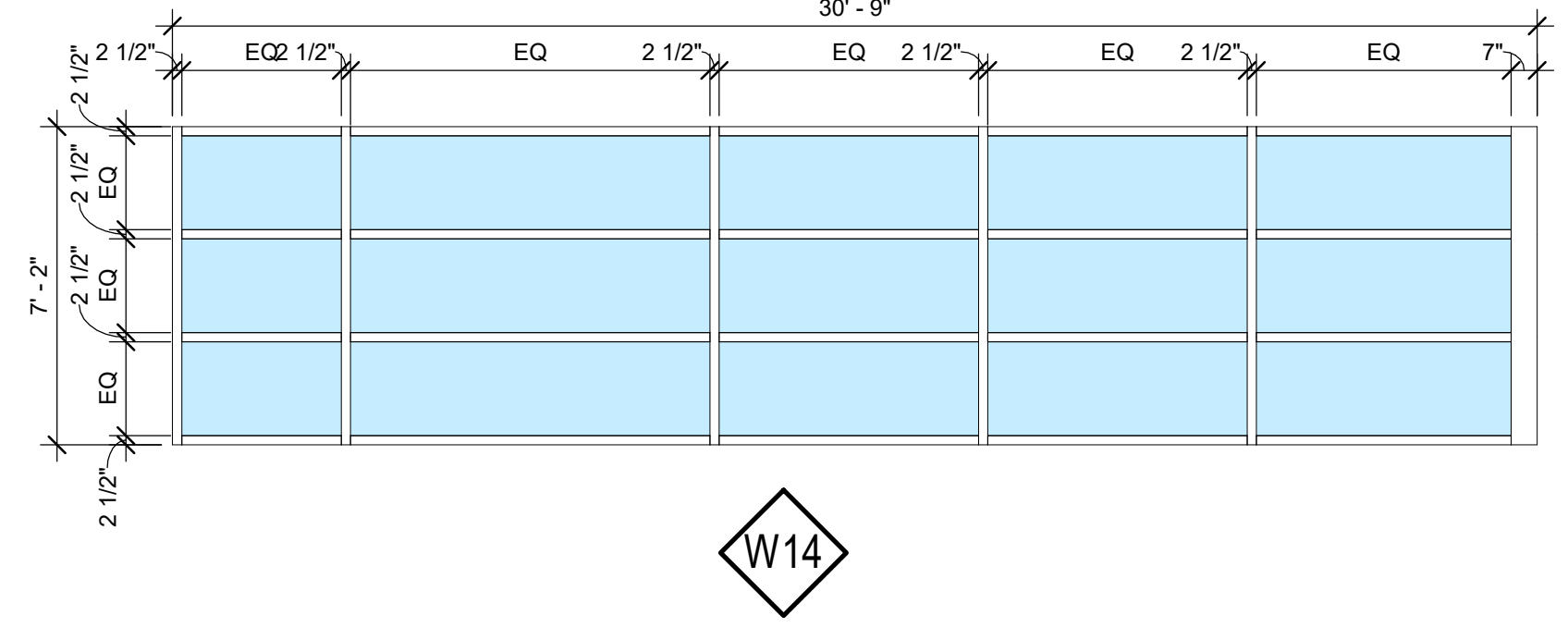
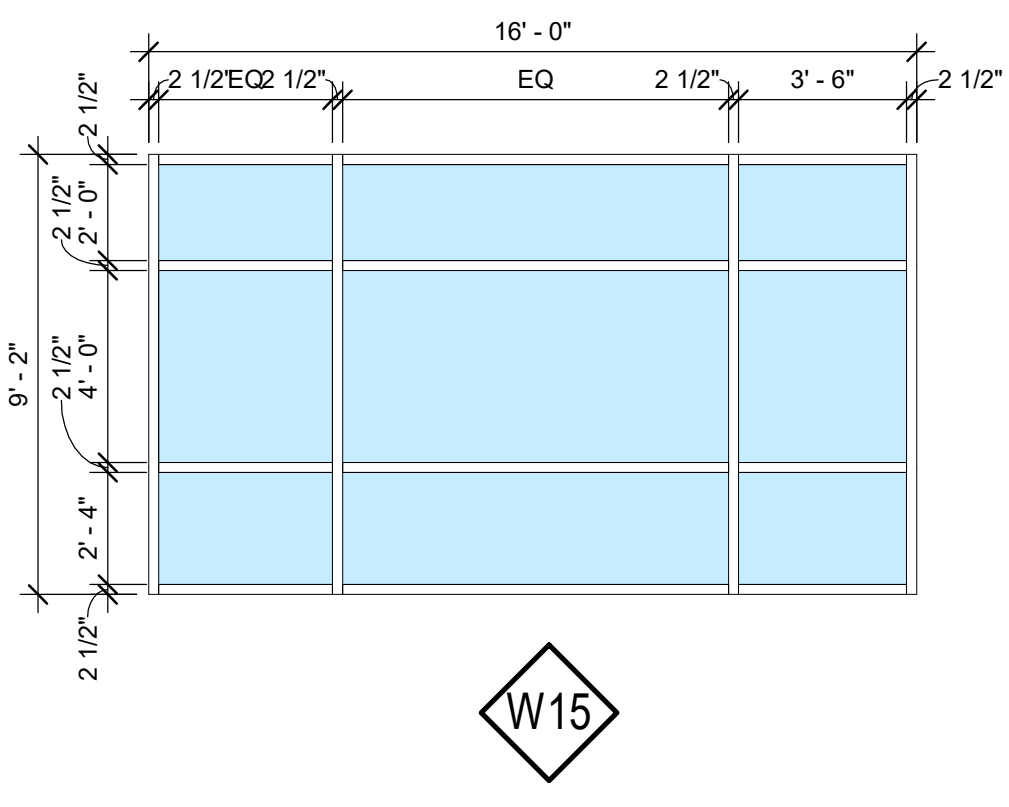
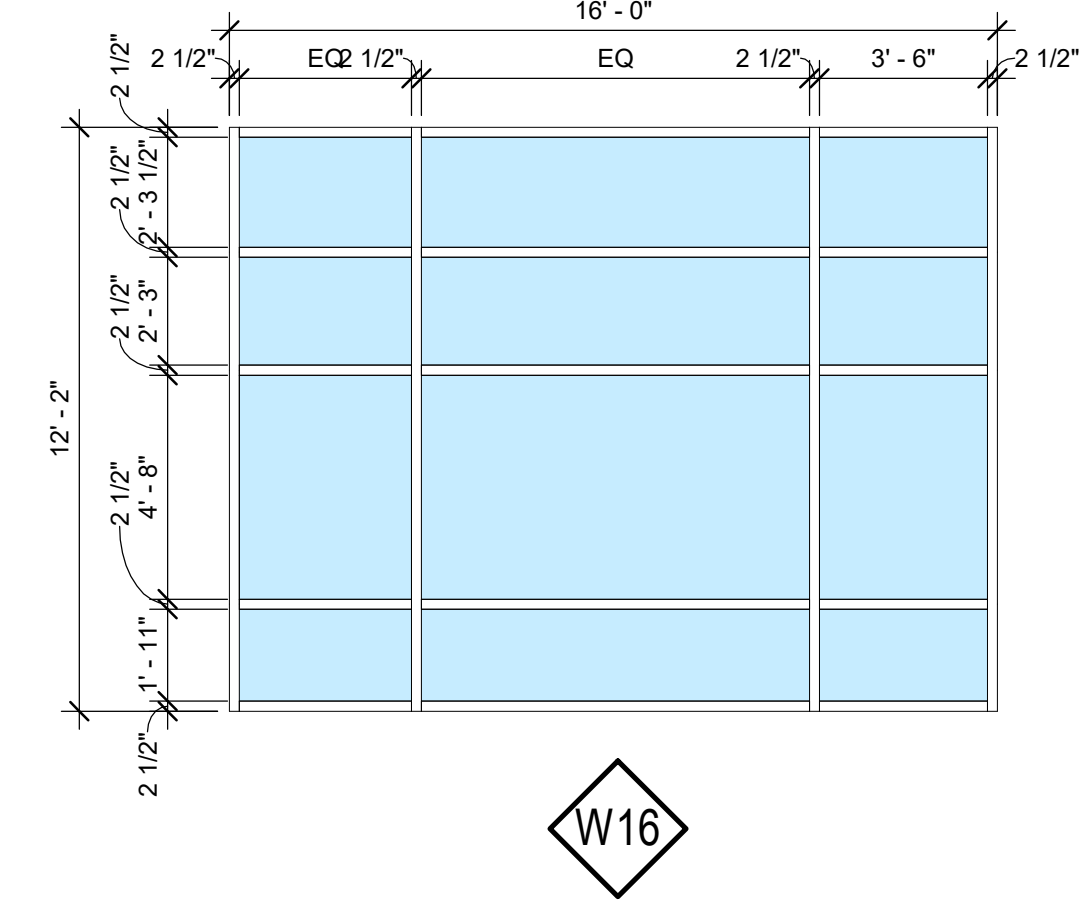
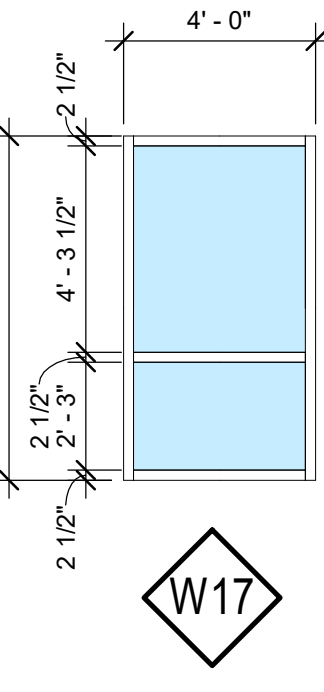
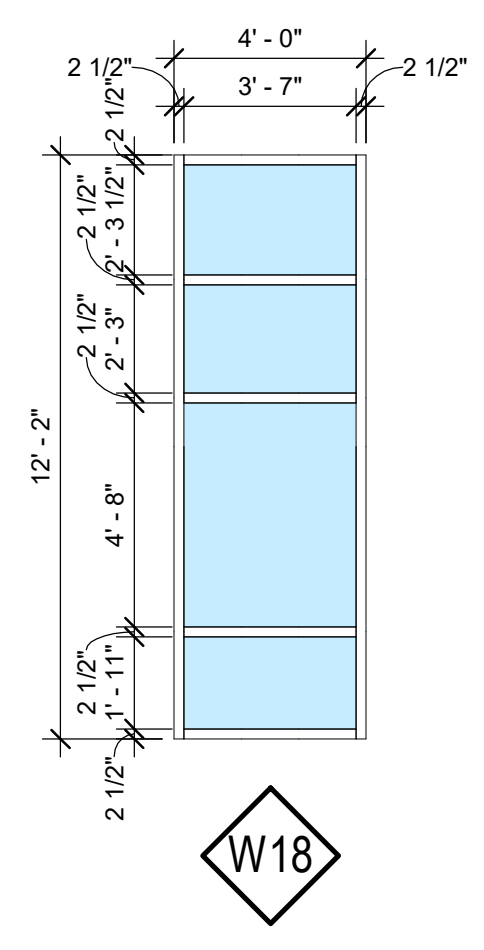
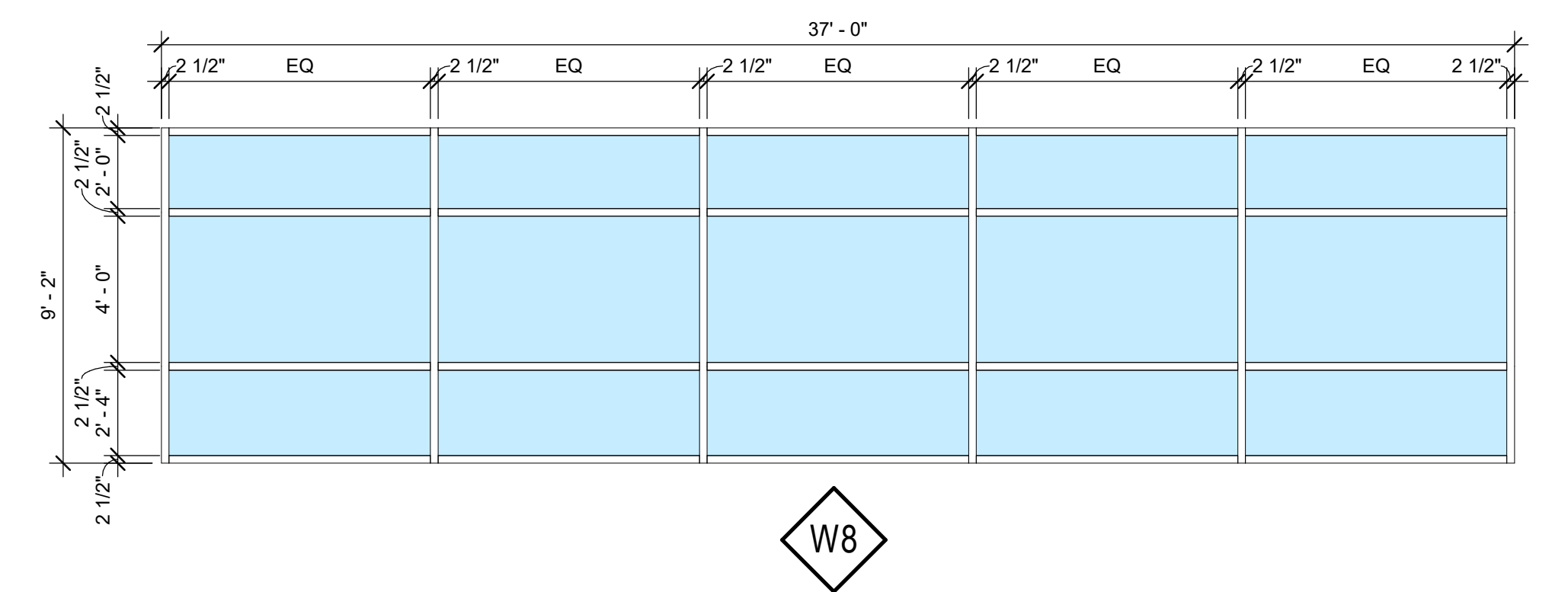
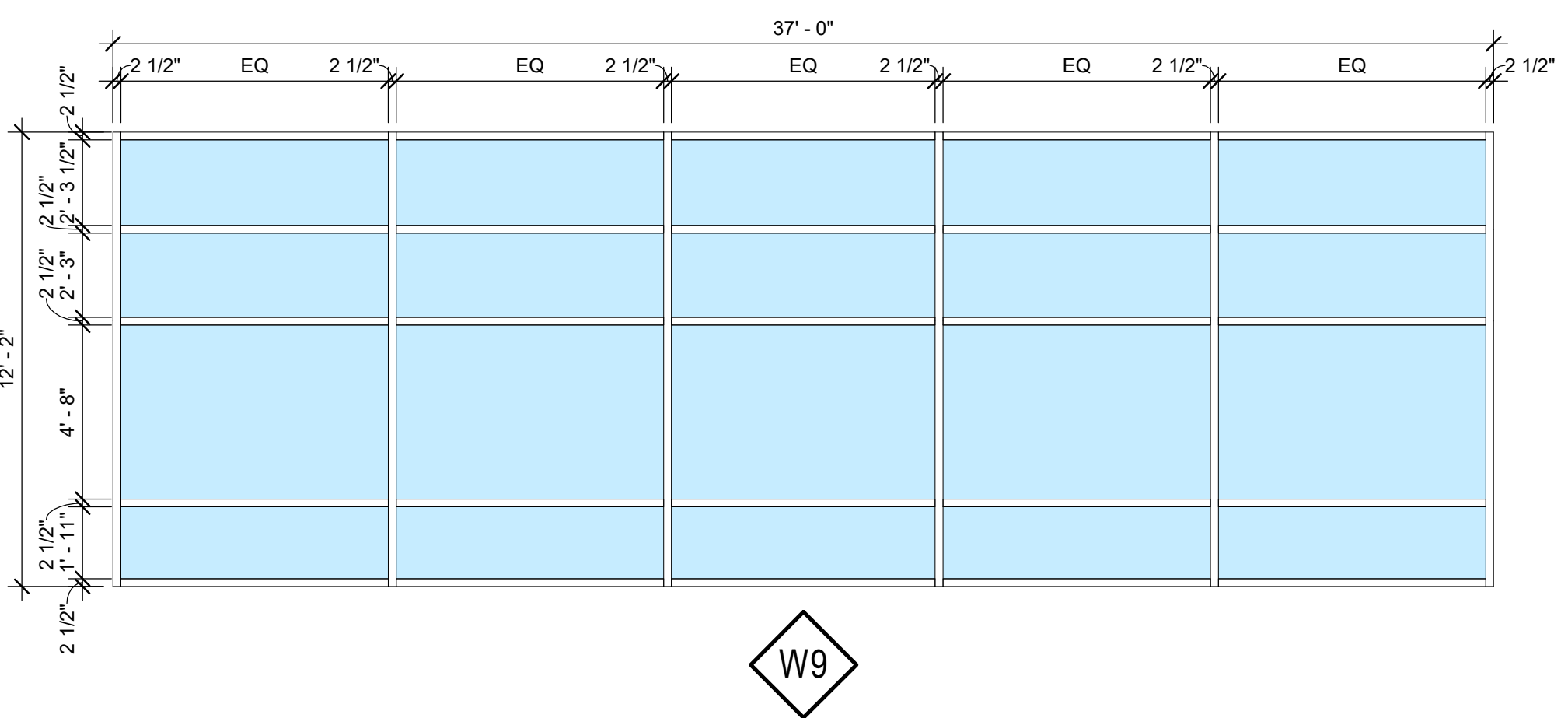
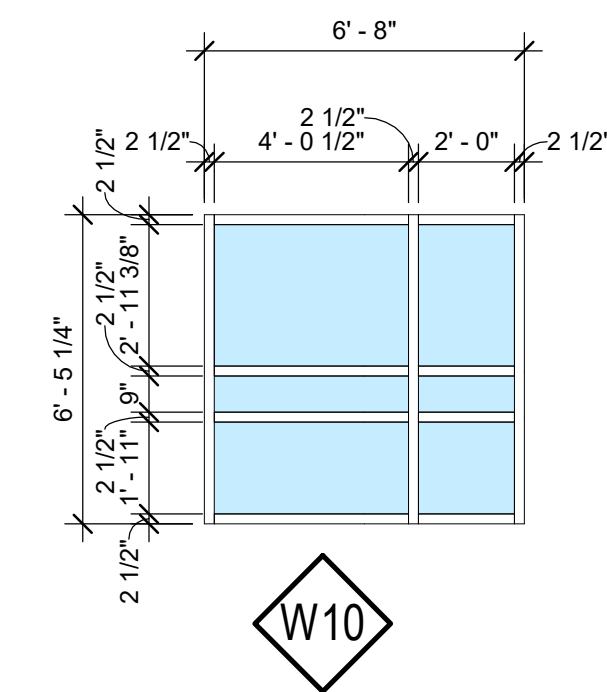
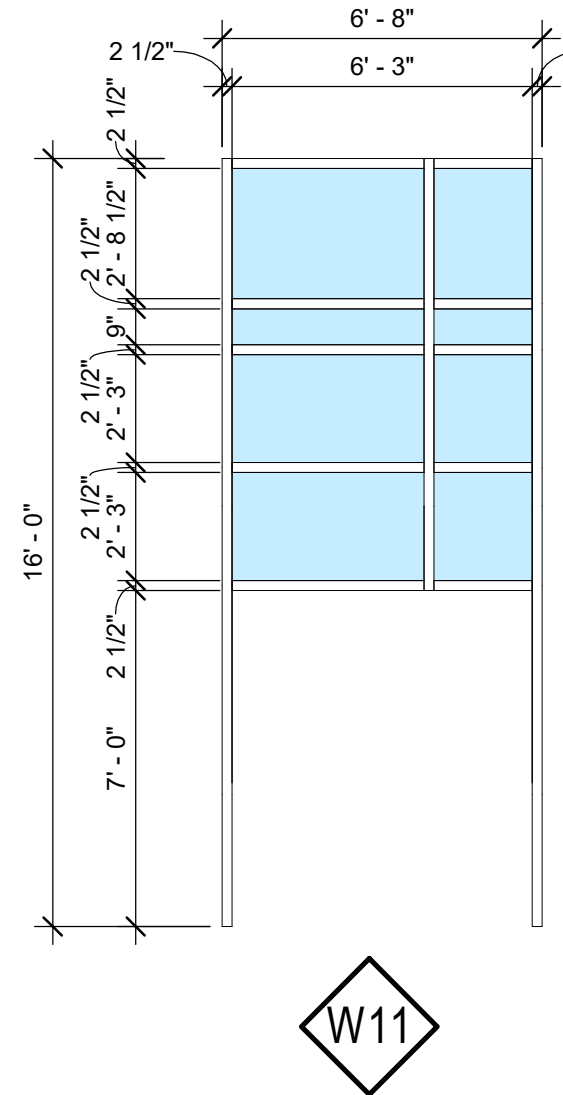
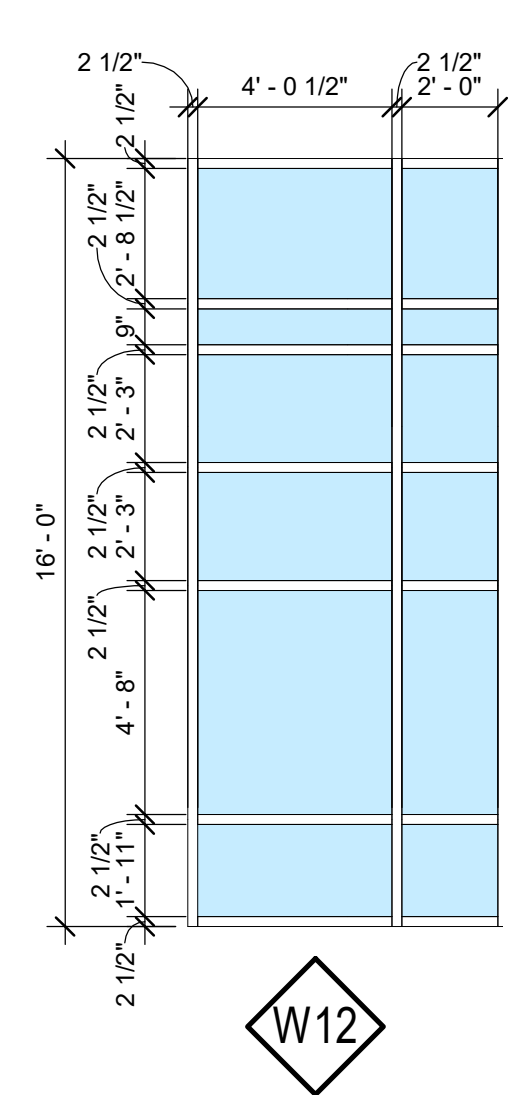
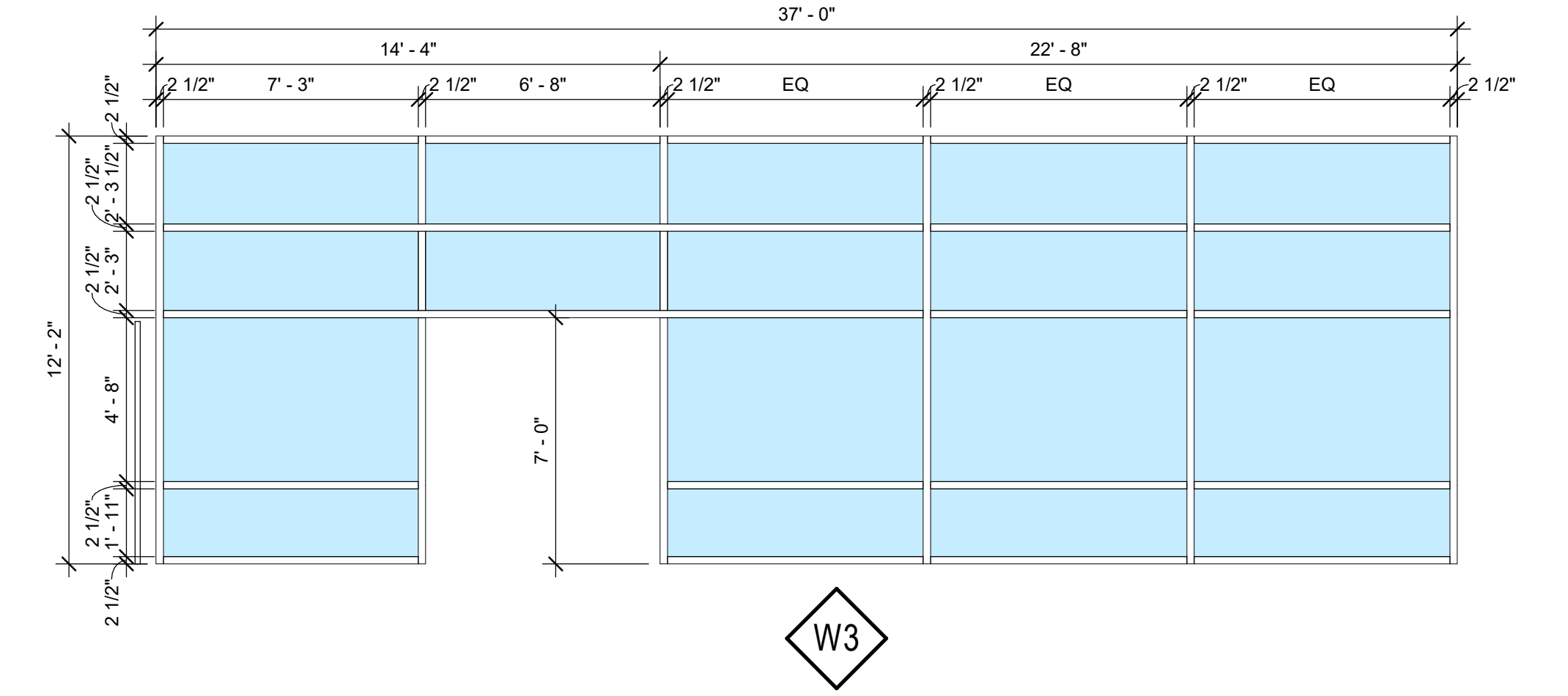
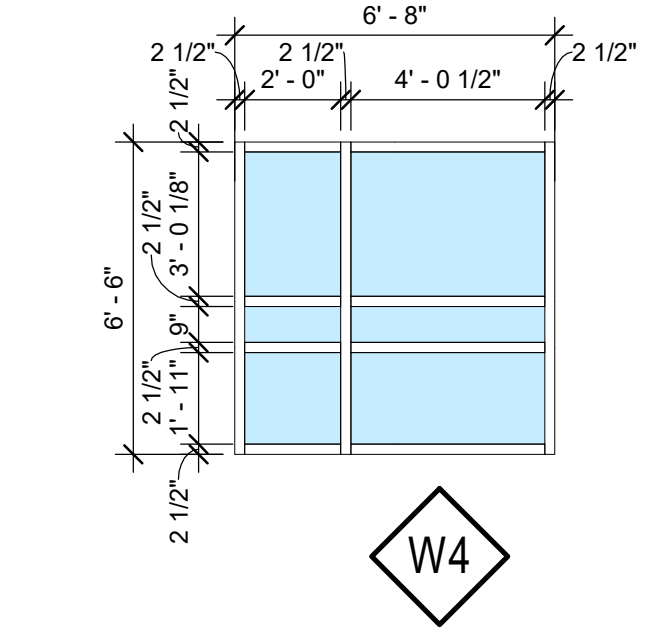
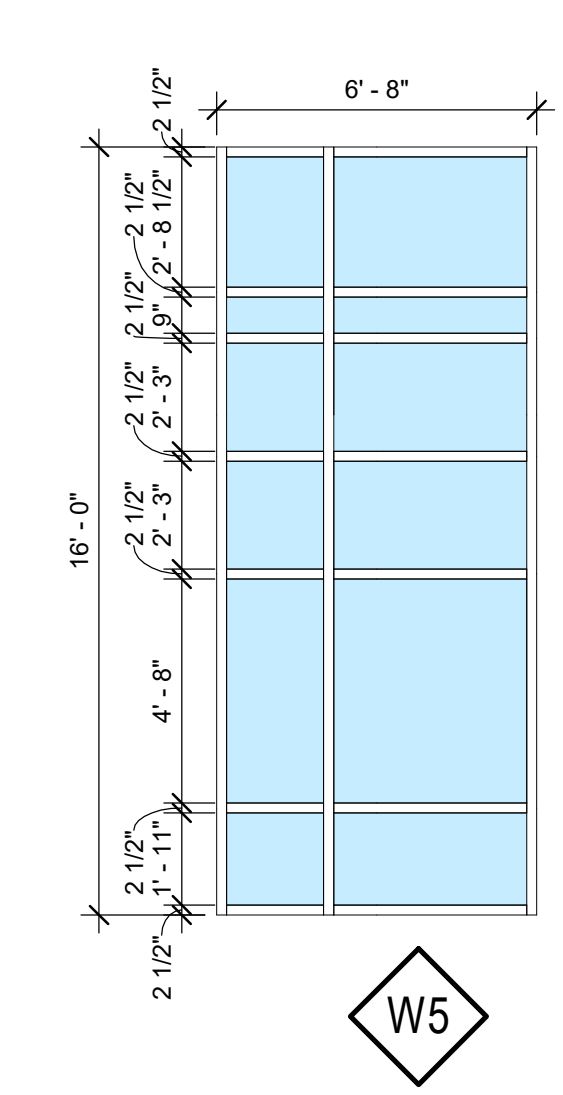
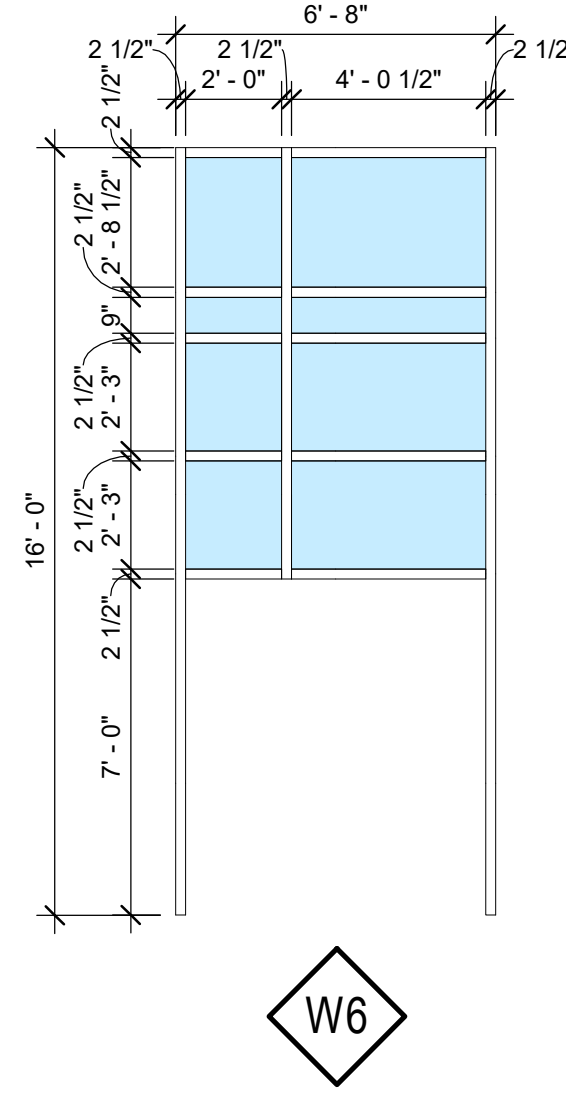
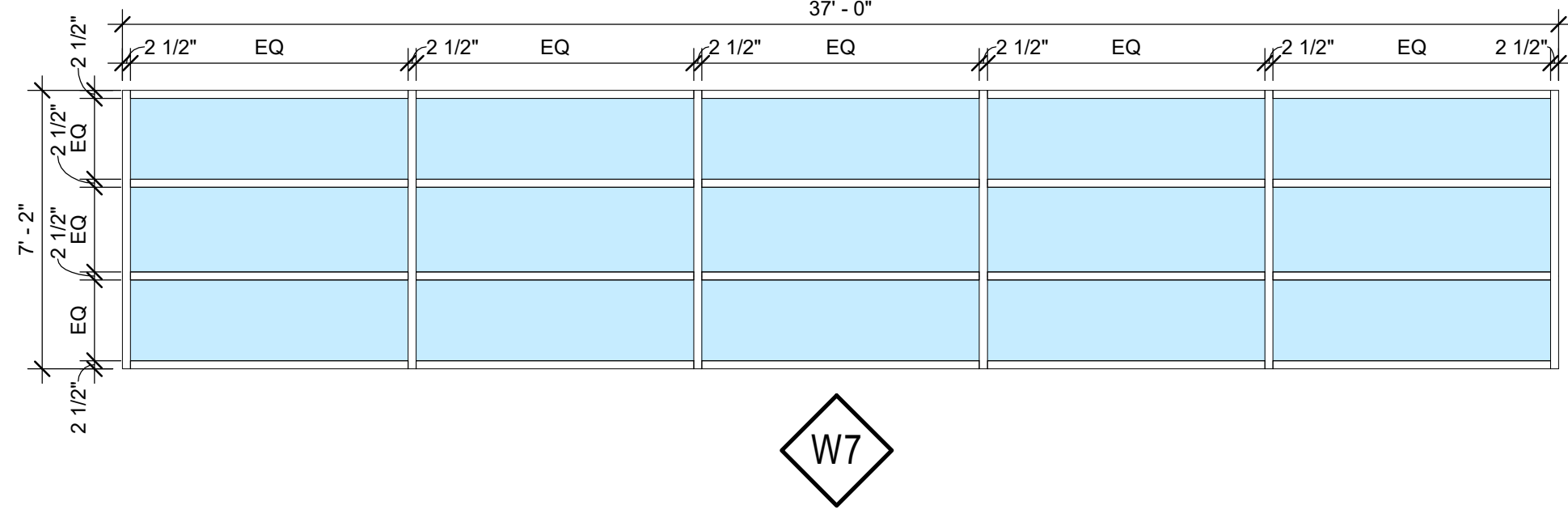
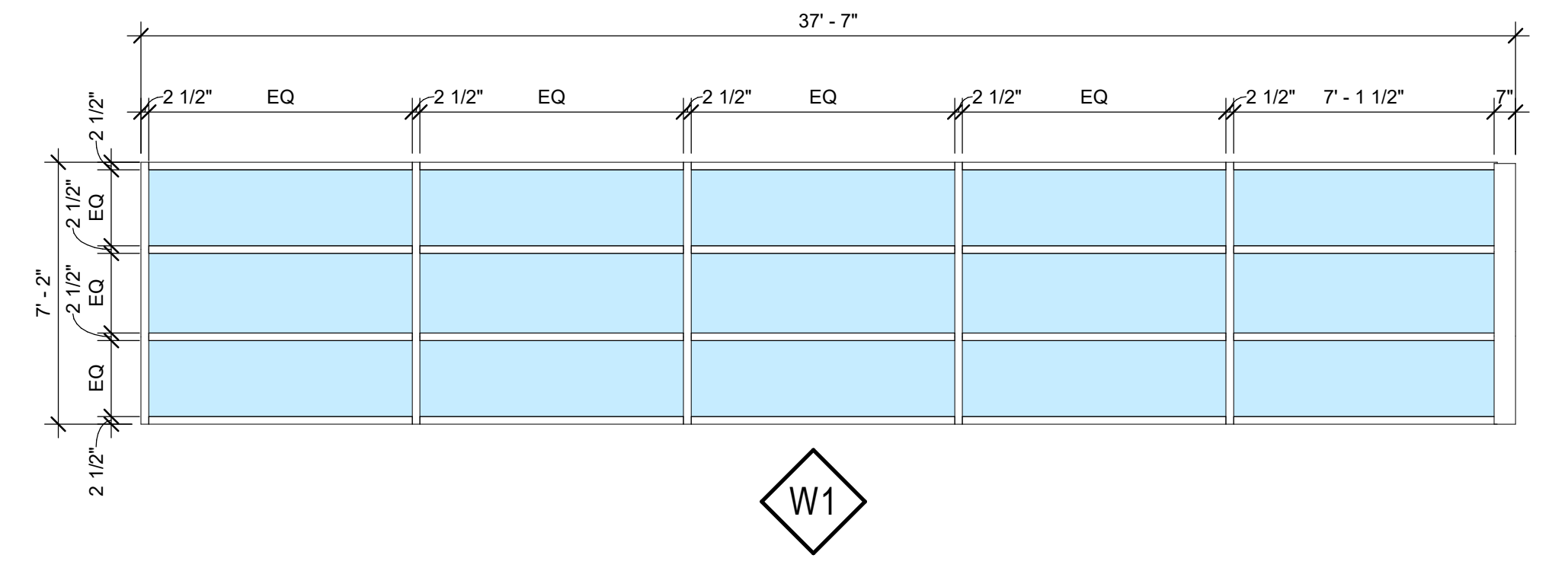
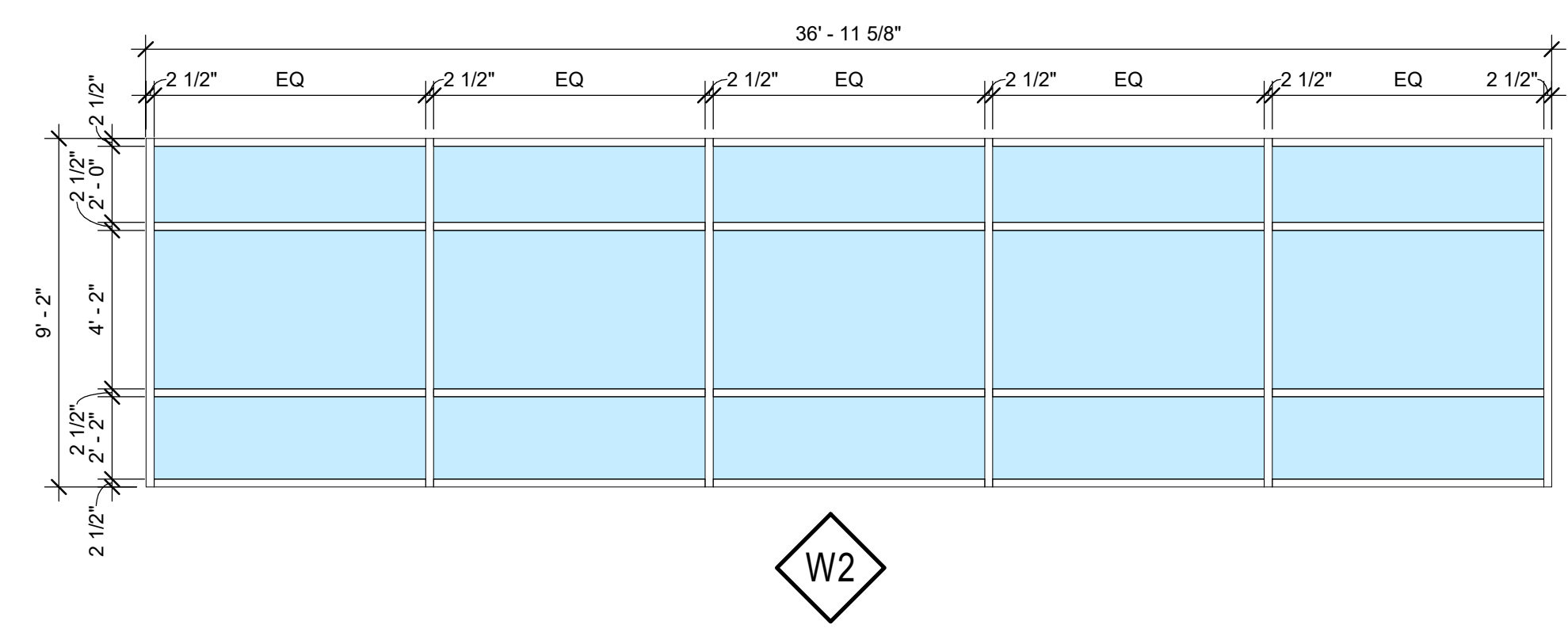
CONSULTANTS

SEAL

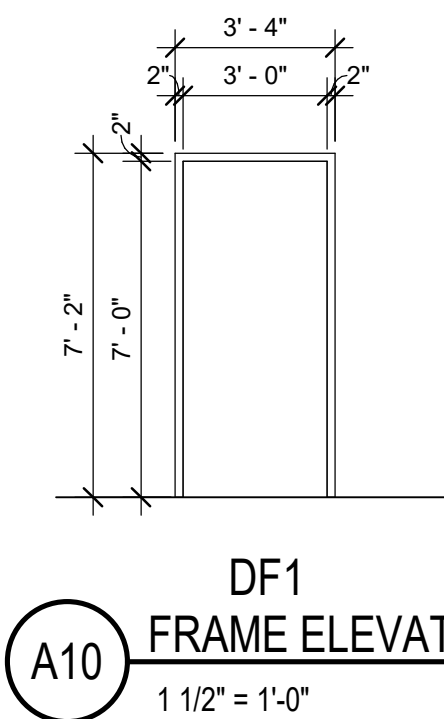
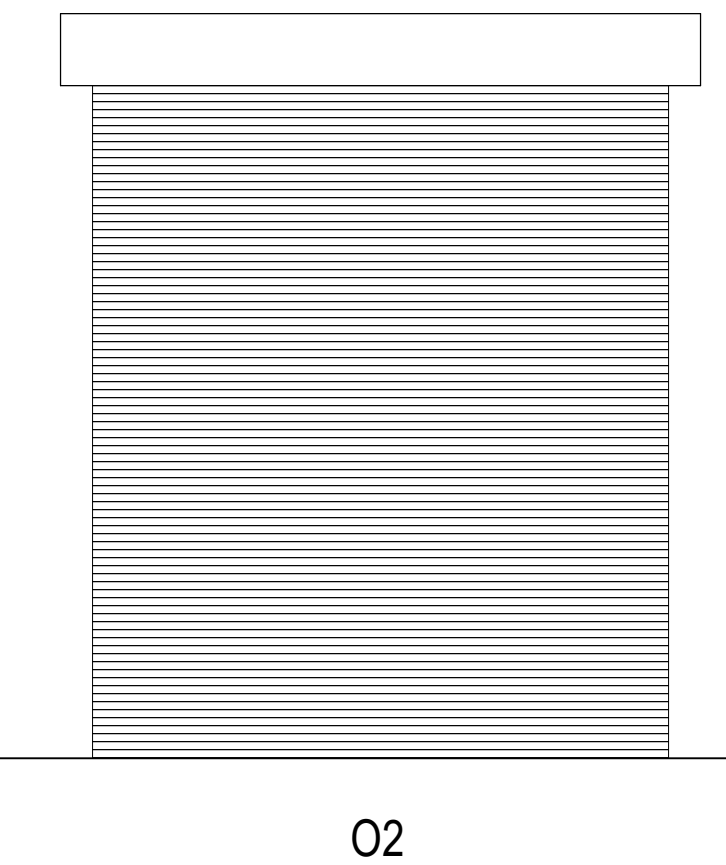
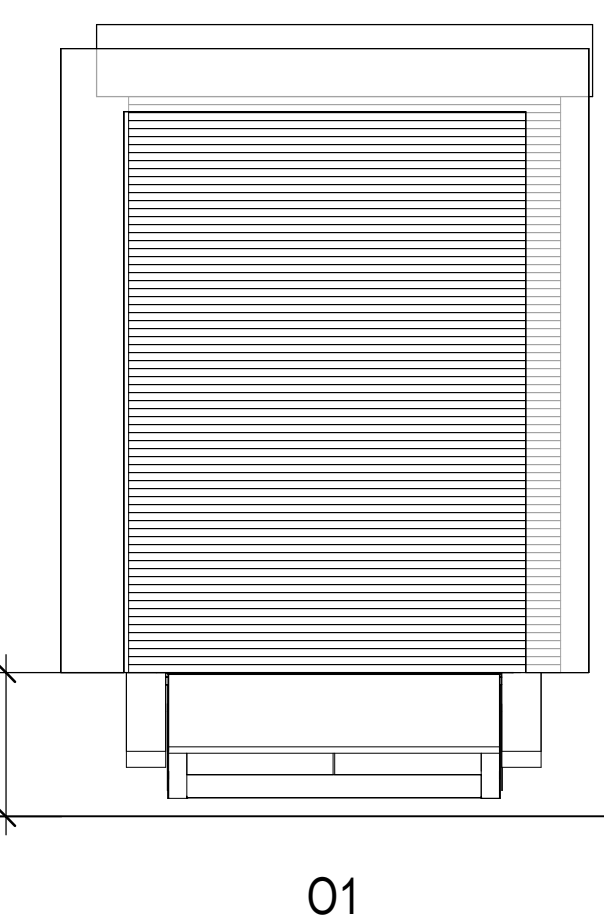
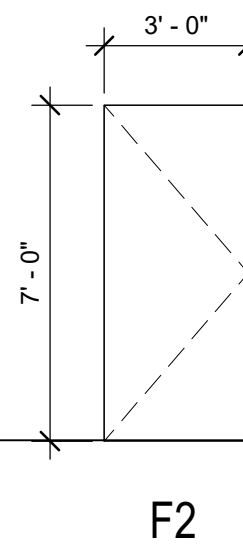
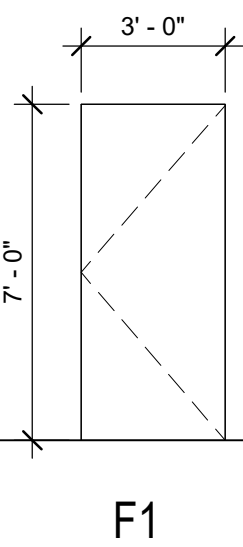
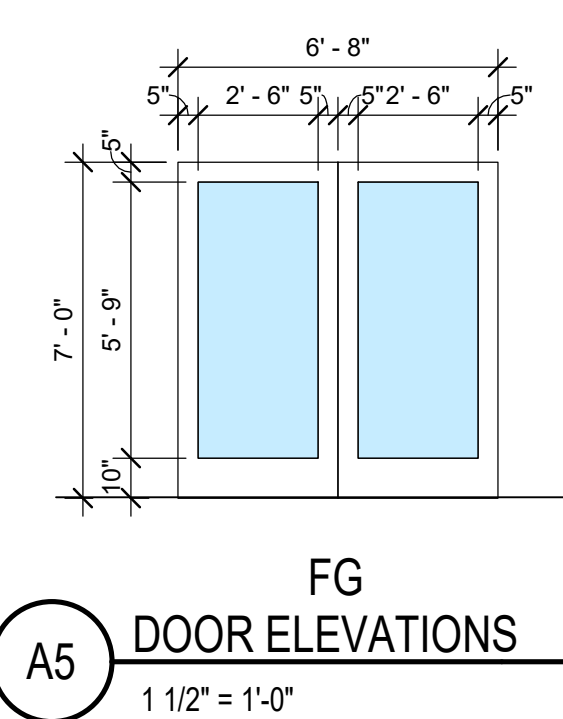
PROJECT NAME:  
**PREWITT SPEC BUILDING**

MARK	DATE	DESCRIPTION

PROJECT NO:  
 19-600-071-00  
 DRAWN BY: RLM  
 CHECKED BY: RXM  
 SHEET TITLE:  
**DOOR AND WINDOW ELEVATIONS**



**C1 WINDOW ELEVATIONS**  
 1 1/2" = 1'-0"



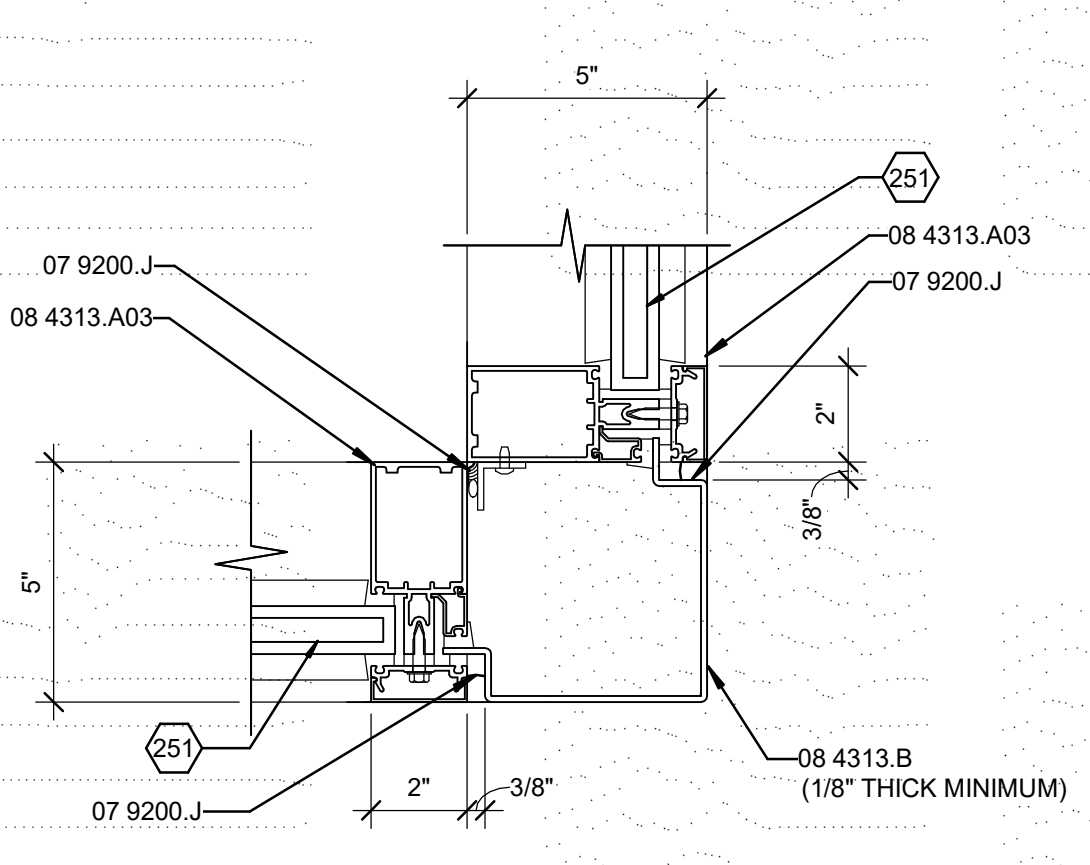
**A5 DOOR ELEVATIONS**  
 1 1/2" = 1'-0"

**A10 FRAME ELEVATIONS**  
 1 1/2" = 1'-0"

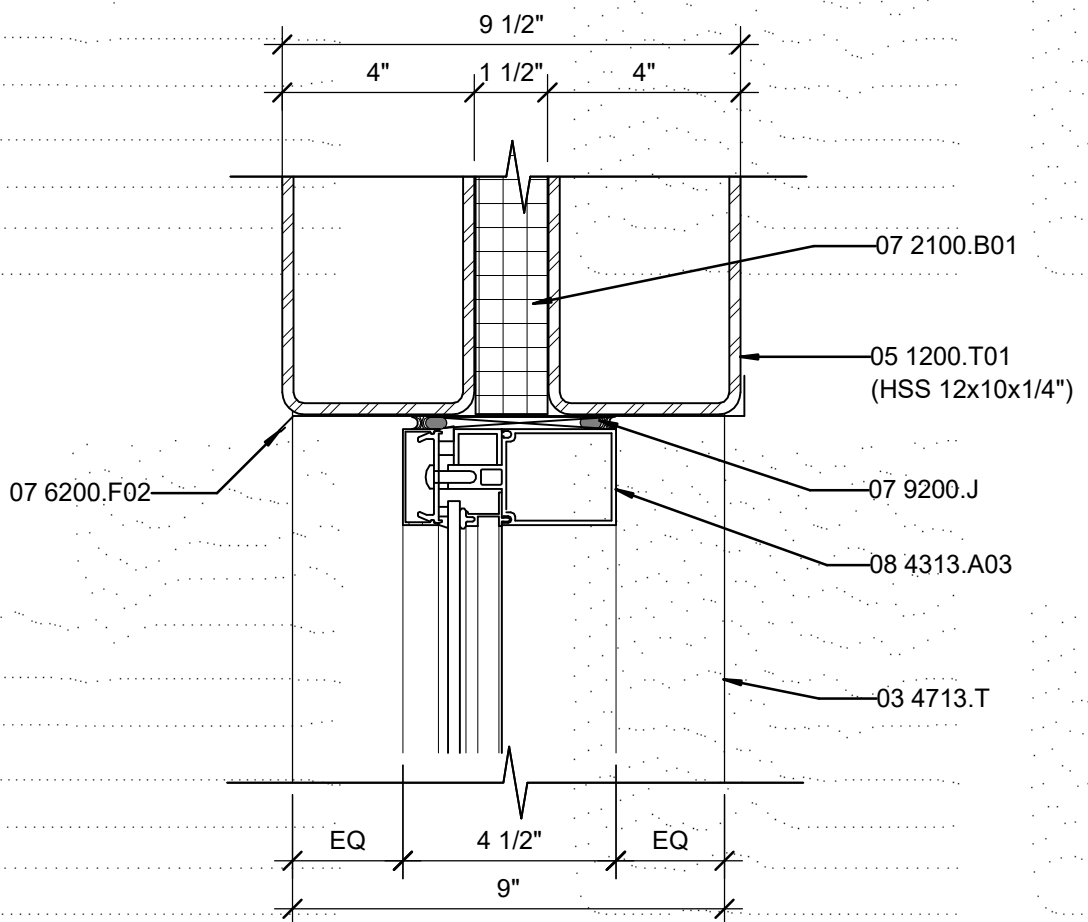
REFERENCE KEYNOTES

- 03 3000.C CAST-IN-PLACE CONCRETE
- 03 3000.J JOINT FILLER
- 03 4713.N NON-SHRINK GROUT
- 03 4713.T TILT-UP-PRECAST CONCRETE UNIT(S)
- 05 1200.T01 TUBE STEEL FRAMING MEMBER
- 07 2100.B01 BOARD INSULATION
- 07 6200.F02 FLASHING
- 07 9200.J JOINT SEALANT
- 08 1113.J JAMB ANCHOR
- 08 1113.S STEEL DOOR
- 08 1113.S01 STEEL FRAME
- 08 3323.A ANCHOR
- 08 3323.B BAFFLE
- 08 3323.C CURTAIN BOTTOM
- 08 3323.G GUIDE
- 08 3323.H HOOD ENCLOSURE
- 08 3323.M MOTOR ENCLOSURE
- 08 3323.M01 MANUAL HAND CHAIN
- 08 3323.V OVERHEAD COILING DOOR
- 08 3323.W WEATHERSTRIPPING
- 08 4313.A02 ALUMINUM DOOR FRAME
- 08 4313.A03 ALUMINUM WINDOW FRAME
- 08 4313.B BREAK METAL
- 08 4313.G GLAZED ALUMINUM DOOR
- 08 4313.S01 SWEEP
- 08 4413.A ALUMINUM FRAMED CURTAIN WALL
- 08 7100.S SWEEP
- 08 7100.T THRESHOLD
- 08 8000.R REFLECTIVE GLASS

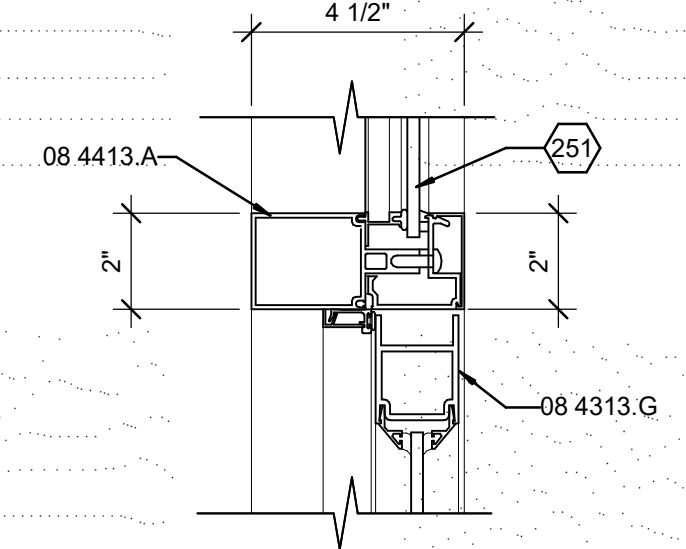
**WILSON & COMPANY**  
 4401 MASTHEAD STREET NE  
 ALBUQUERQUE, NM 87109  
 PHONE: (505) 946-4000



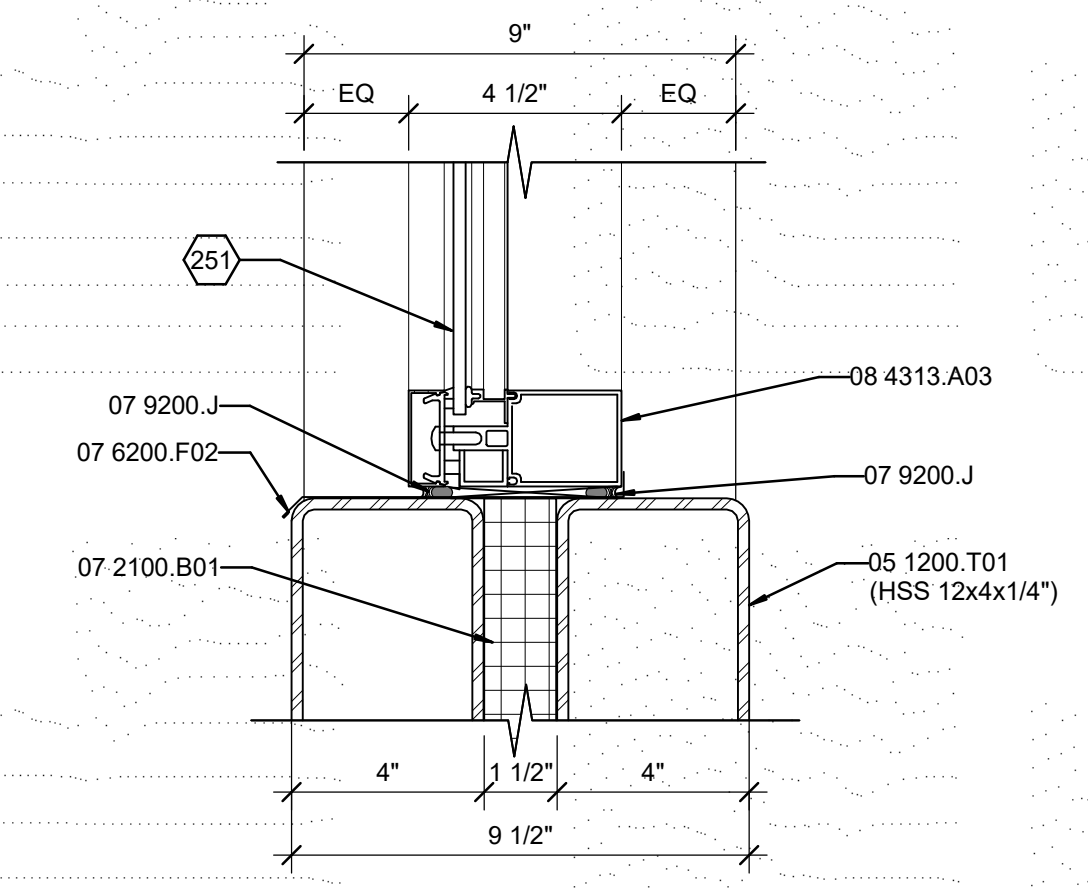
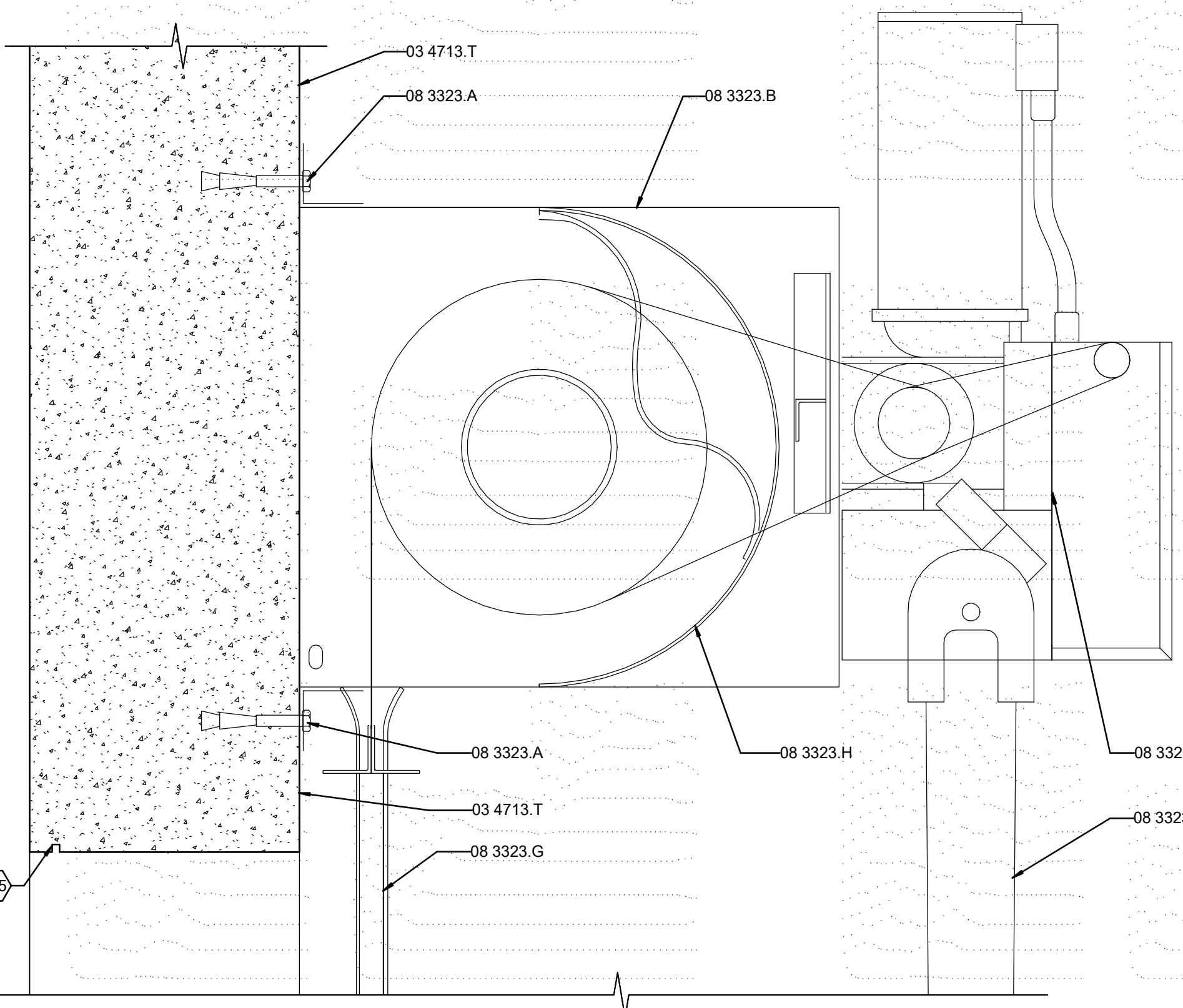
**J5 ALUMINUM WINDOW CORNER JAMB**  
3" = 1'-0"



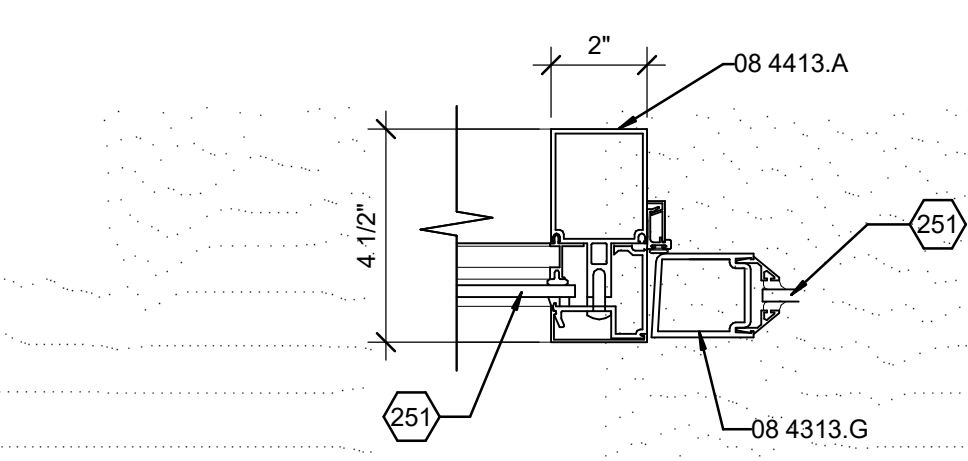
**J7 ALUMINUM WINDOW HEAD AT STEEL**  
3" = 1'-0"



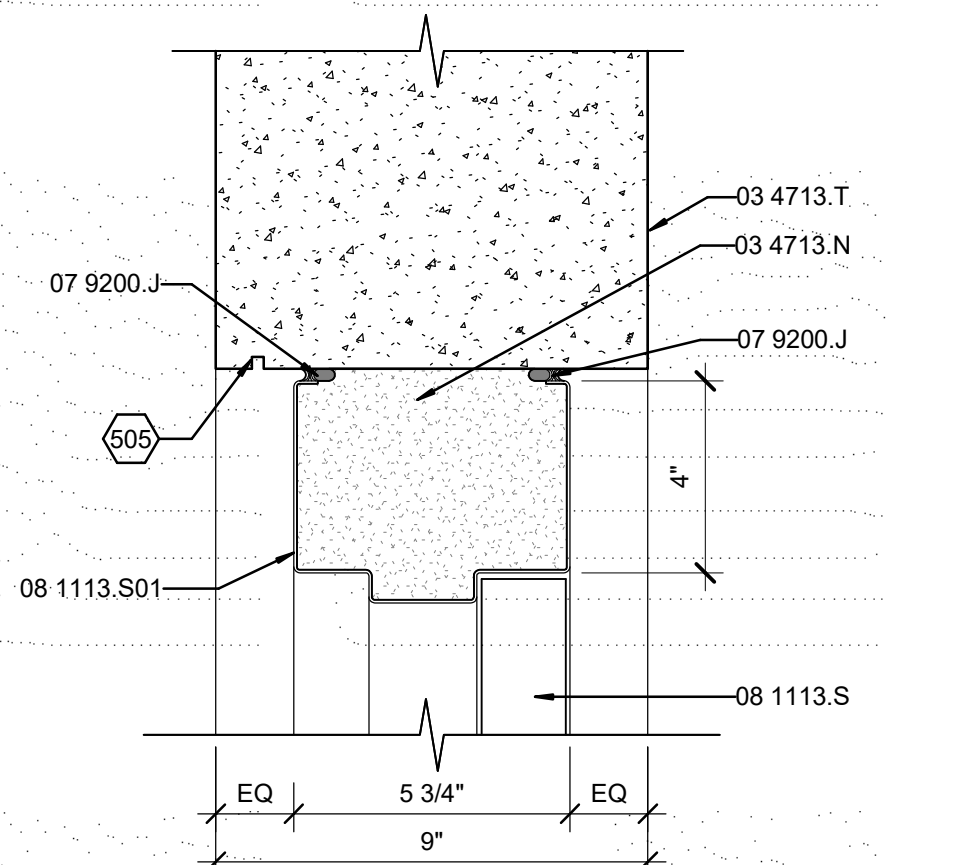
**H9 ALUMINUM DOOR HEAD**  
3" = 1'-0"



**G7 ALUMINUM WINDOW SILL AT STEEL**  
3" = 1'-0"

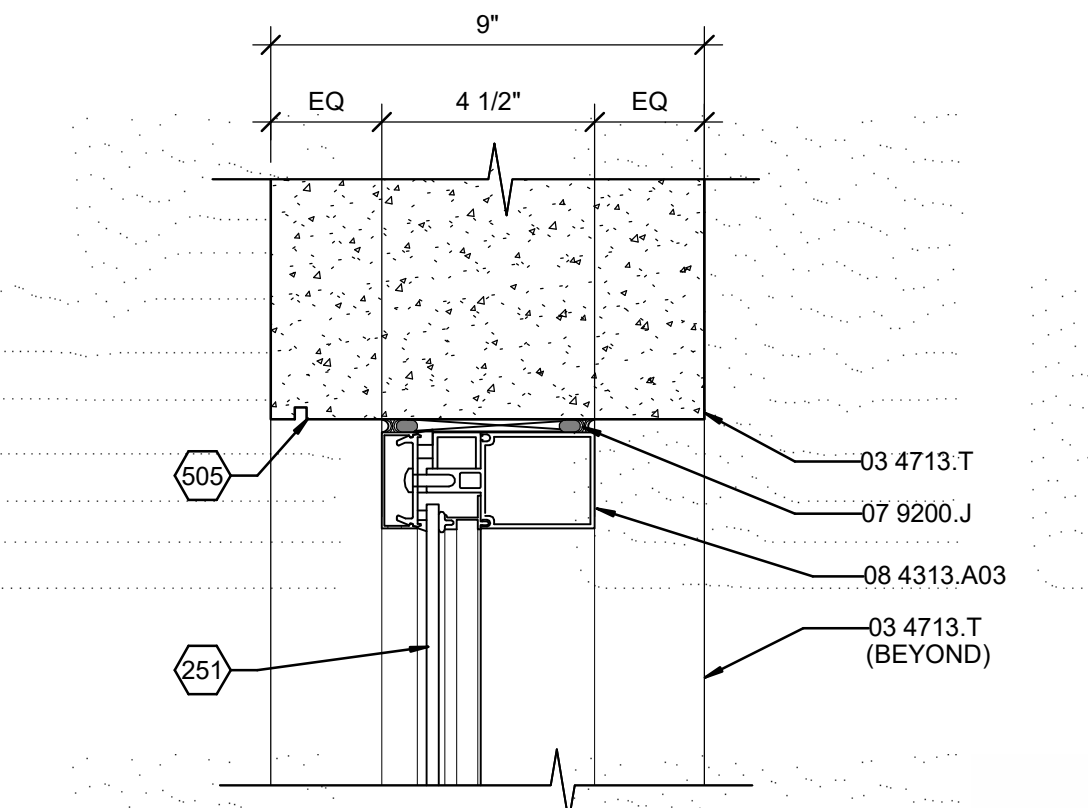


**G9 ALUMINUM DOOR JAMB**  
3" = 1'-0"

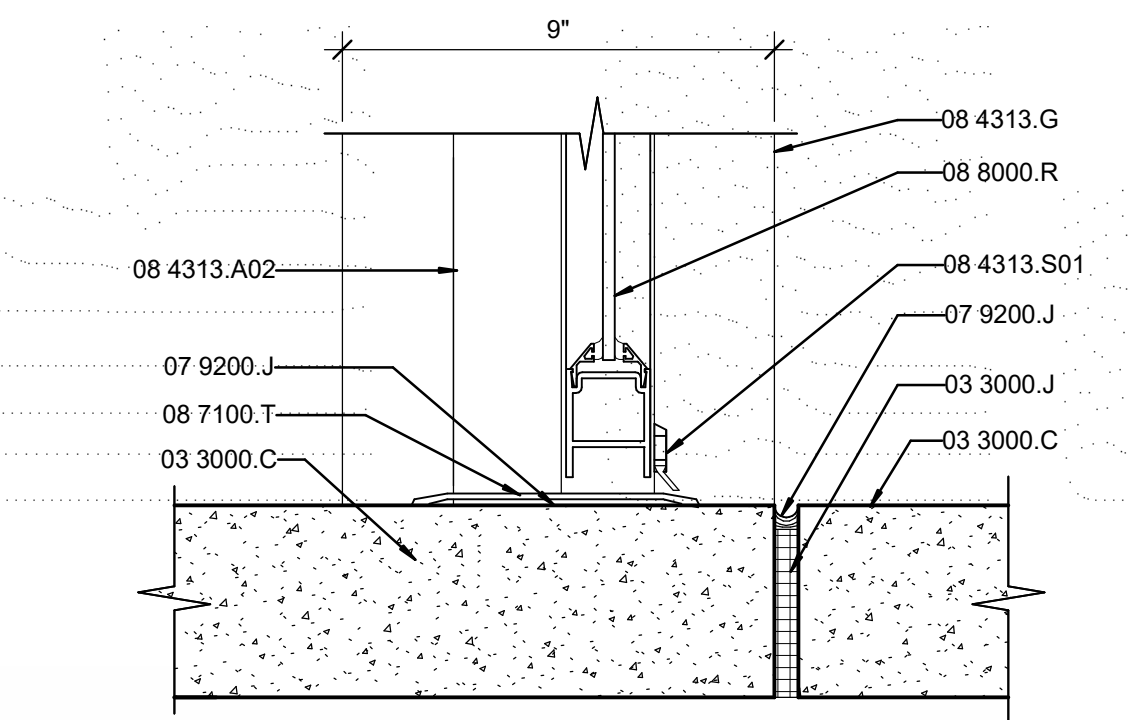


**E2 HM DOOR HEAD**  
3" = 1'-0"

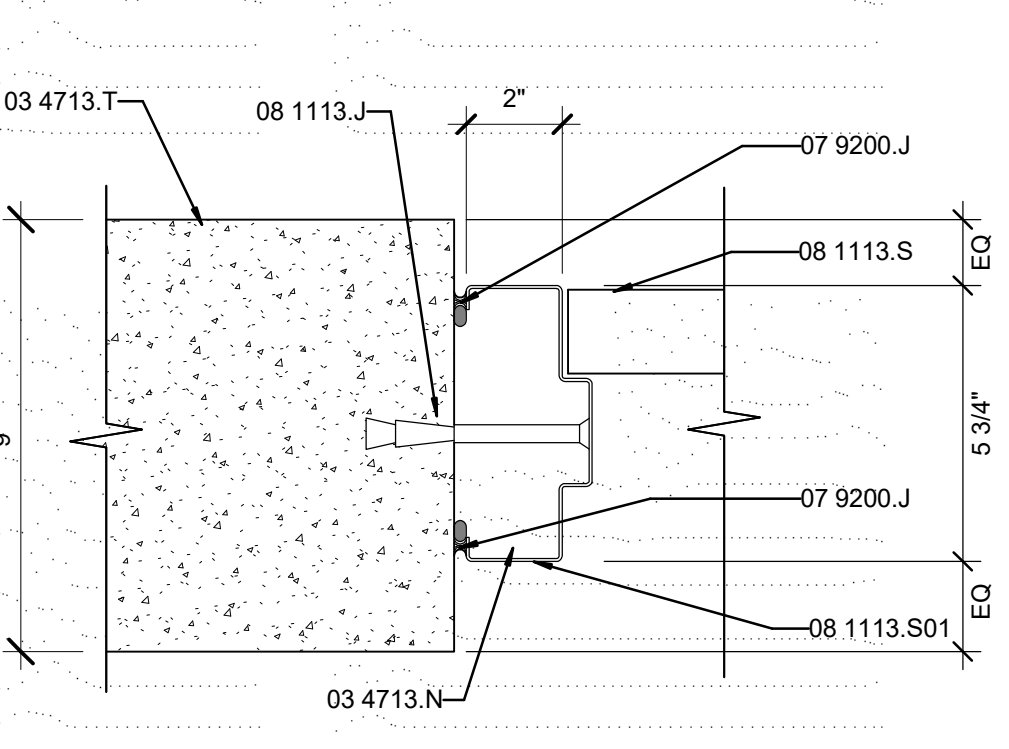
**E4 OHC DOOR HEAD**  
3" = 1'-0"



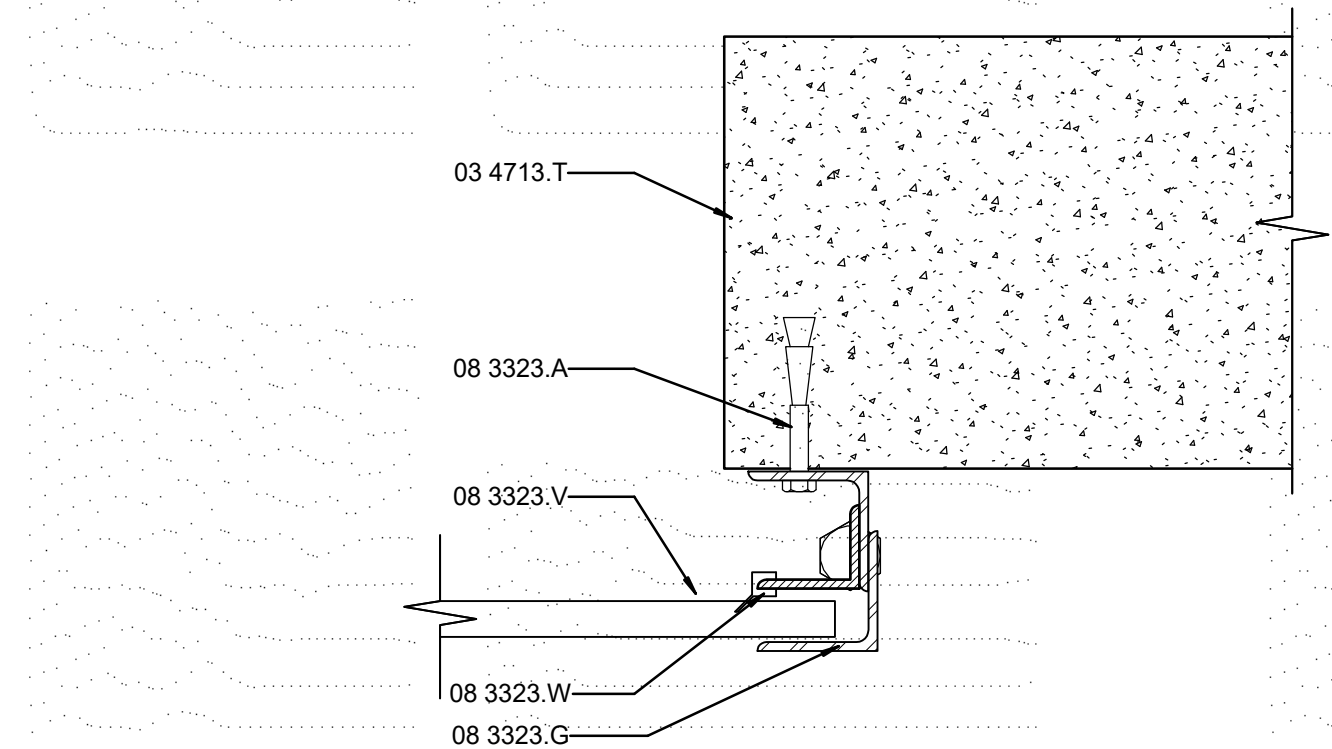
**E7 ALUMINUM WINDOW HEAD (JAMB SIMILAR)**  
3" = 1'-0"



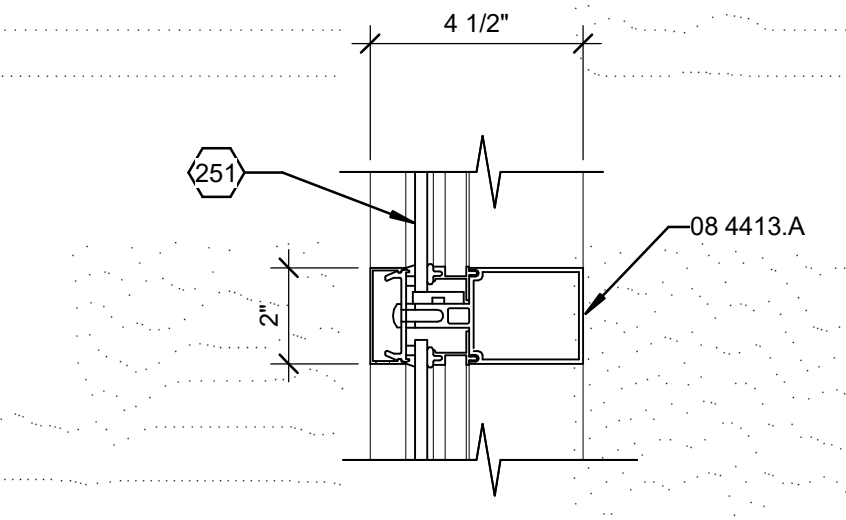
**E9 ALUMINUM DOOR SILL**  
3" = 1'-0"



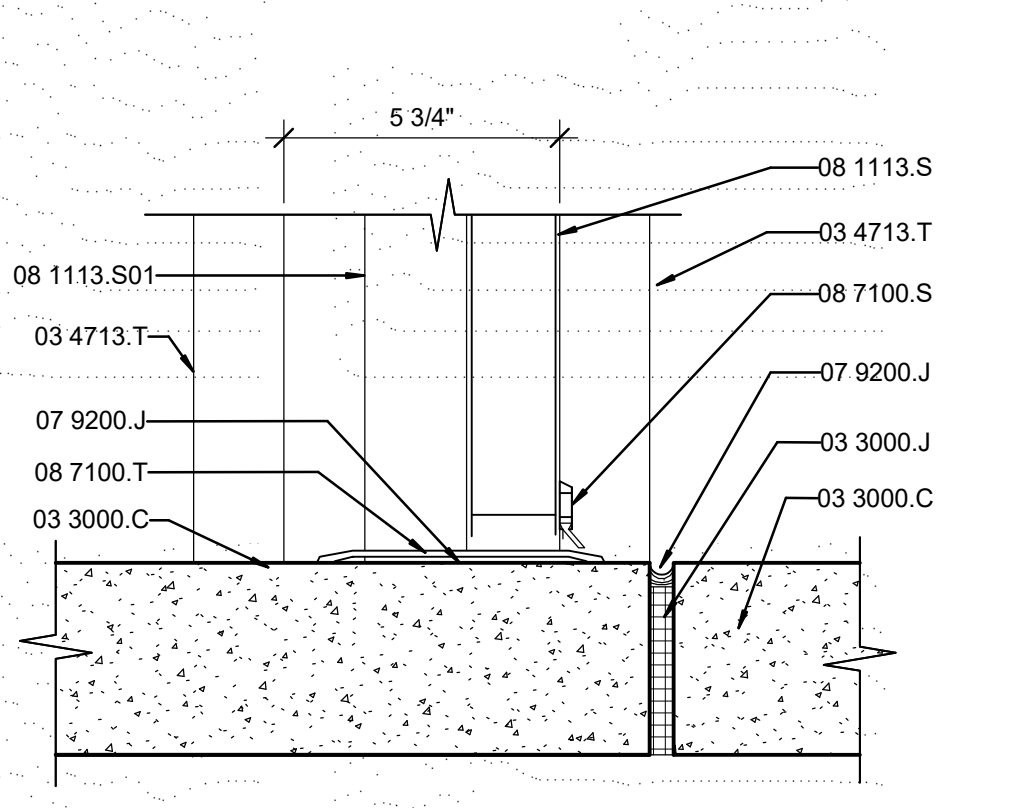
**C2 HM DOOR JAMB**  
3" = 1'-0"



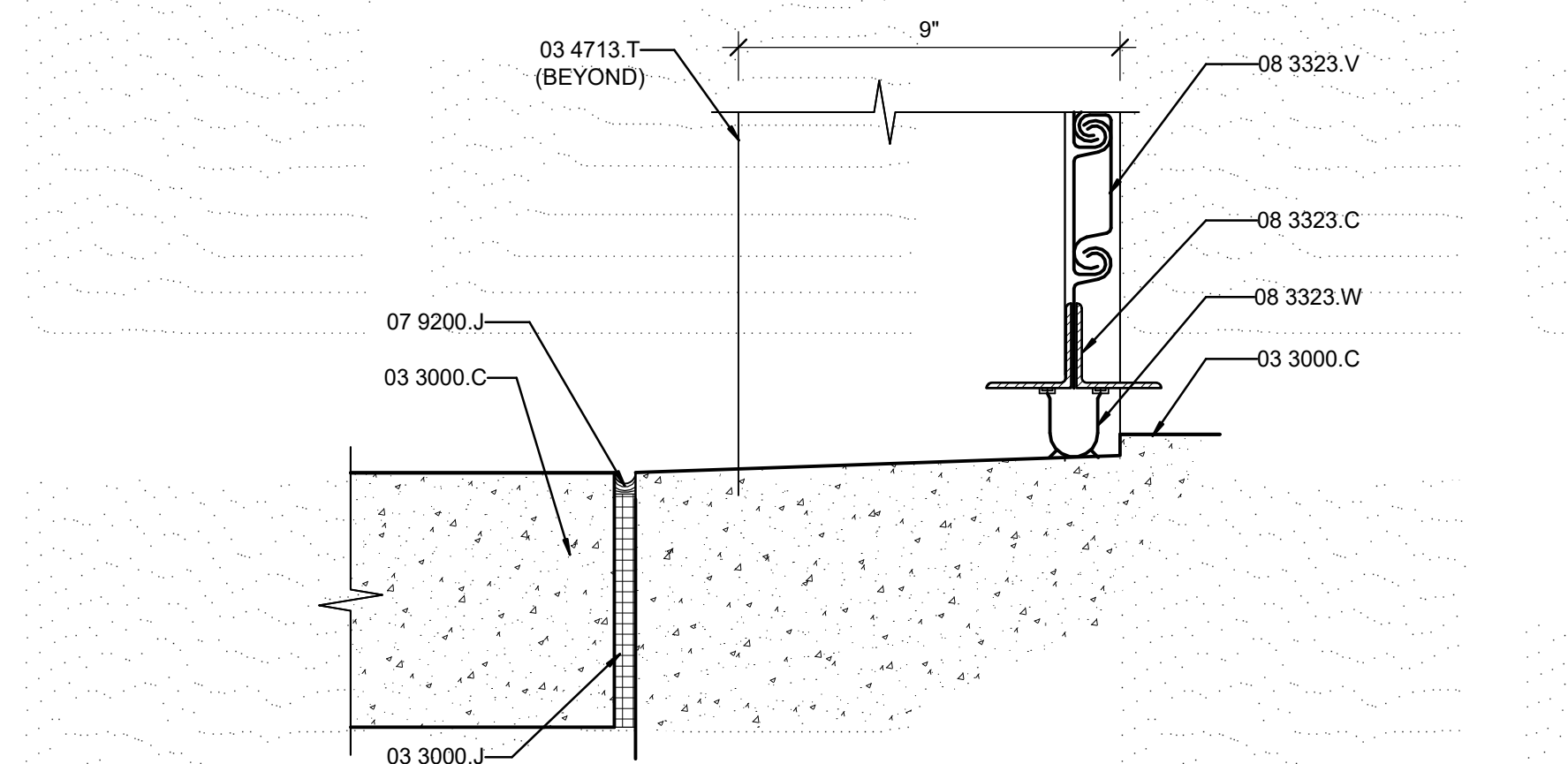
**C4 OHC DOOR JAMB**  
3" = 1'-0"



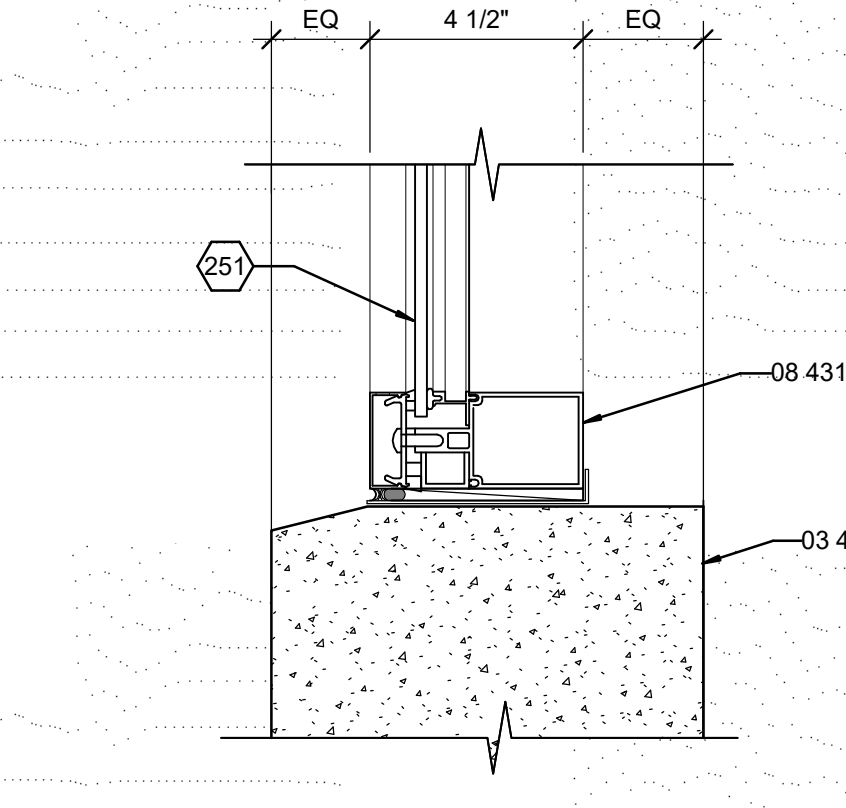
**C7 ALUMINUM WINDOW MULLION**  
3" = 1'-0"



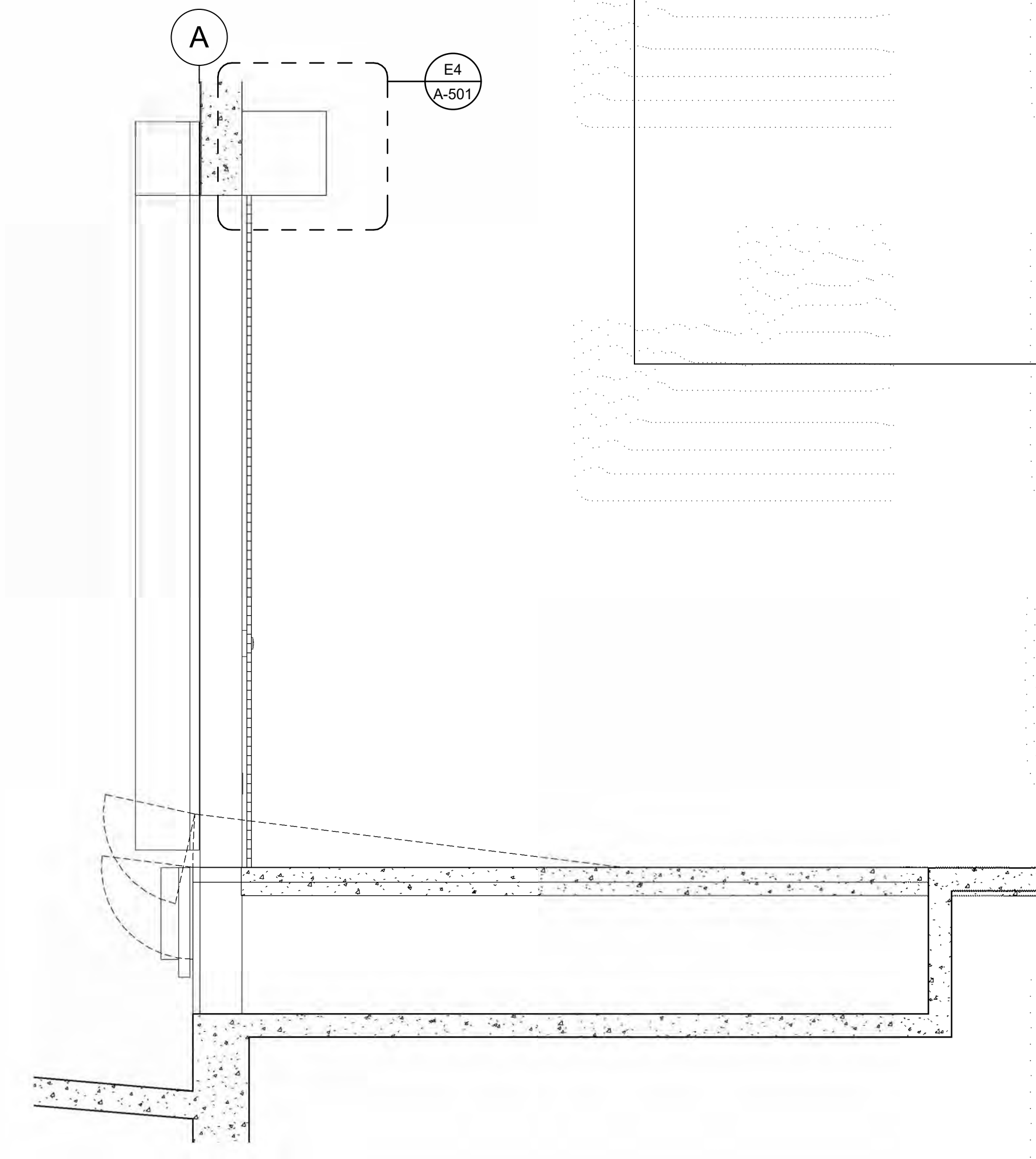
**A2 HM DOOR SILL**  
3" = 1'-0"



**A4 OHC DOOR SILL**  
3" = 1'-0"



**A7 ALUMINUM WINDOW SILL**  
3" = 1'-0"



**A9 SECTION AT LOADING DOCK**  
1/2" = 1'-0"

SHEET KEYNOTES

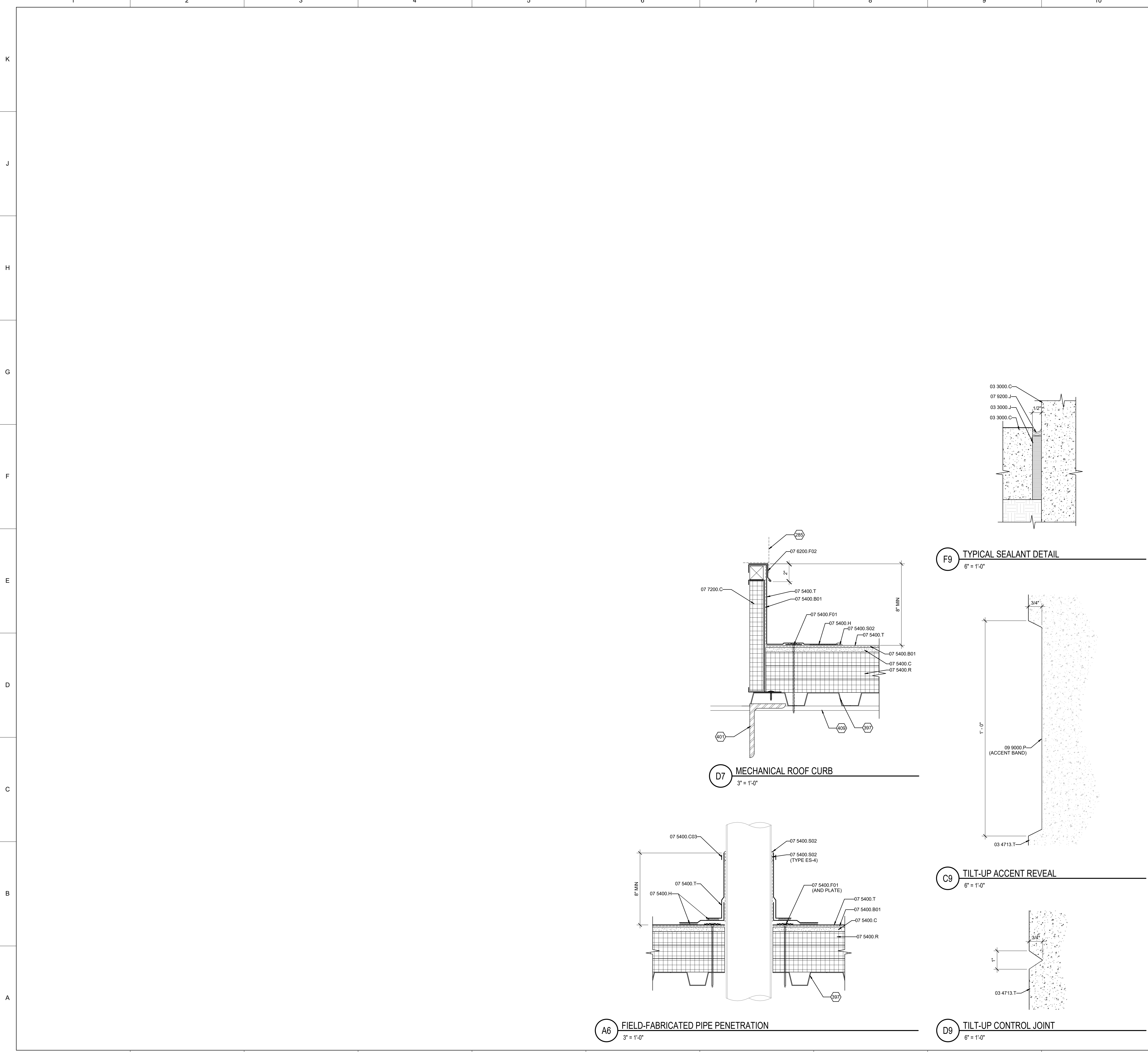
- 251 GLAZING AS SCHEDULED.
- 505 1/4" x 1/4" DRIP EDGE 3/4" MINIMUM FROM OUTSIDE EDGE.

CONSULTANTS  
SEAL  
PROJECT NAME: PREWITT SPEC BUILDING

MARK	DATE	DESCRIPTION

PROJECT NO: 19-600-071-00  
 DRAWN BY: RLM  
 CHECKED BY: RXM  
 SHEET TITLE: DOOR AND WINDOW DETAILS  
**A-501**  
 SHEET OF

8/10/2020 2:08:12 PM



### REFERENCE KEYNOTES

- 03 3000.C CAST-IN-PLACE CONCRETE
- 03 3000.J JOINT FILLER
- 03 4713.T TILT-UP PRECAST CONCRETE UNIT(S)
- 07 5400.B01 BONDING ADHESIVE
- 07 5400.C COVER BOARD
- 07 5400.C03 CLAMPING RING
- 07 5400.F01 FASTENER
- 07 5400.H HOT-AIR WELD
- 07 5400.R ROOF INSULATION
- 07 5400.S02 SEALANT
- 07 5400.T TPO MEMBRANE
- 07 6200.F02 FLASHING
- 07 7200.C CURB
- 07 9200.J JOINT SEALANT
- 09 9000.P PAINT

### SHEET KEYNOTES

- 285 MECHANICAL EQUIPMENT.
- 397 STRUCTURAL DECK.
- 401 STRUCTURAL FRAMING MEMBER(S).
- 409 STRUCTURAL JOIST.

**WILSON & COMPANY**  
 4401 MASTHEAD STREET NE  
 SUITE 150  
 ALBUQUERQUE, NM 87109  
 PHONE: (505) 946-4000

CONSULTANTS

SEAL

PROJECT NAME:  
PREWITT SPEC BUILDING

MARK	DATE	DESCRIPTION

PROJECT NO:  
19-600-071-00  
 DRAWN BY  
 CHECKED BY  
 SHEET TITLE  
**DETAILS**

**A-502**  
 SHEET \_\_\_ OF \_\_\_

8/10/2020 2:45:23 PM

K  
J  
H  
G  
F  
E  
D  
C  
A

1 2 3 4 5 6 7 8 9 10 11 12

DOOR SCHEDULE														
MARK	QTY	DOOR SIZE			MATERIAL	EL	EL	FRAME DETAILS			FIRE RATING LABEL	SET NO	KEYSIDE	NOTES
		W	H	THK				HEAD	JAMB	SILL				
100	2	3'-6"	7'-0"	1 3/4"	ALUMINUM	FG	W13	H9/ A-501	G9/ A-501	E9/A-501	-		EXTERIOR	
101	2	3'-1 1/2"	7'-0"	1 3/4"	ALUMINUM	FG	W11	H9/ A-501	G9/ A-501	E9/A-501	-		EXTERIOR	
102	2	3'-1 1/2"	7'-0"	1 3/4"	ALUMINUM	FG	W11	H9/ A-501	G9/ A-501	E9/A-501	-		EXTERIOR	
103	2	3'-1 1/2"	7'-0"	1 3/4"	ALUMINUM	FG	W11	H9/ A-501	G9/ A-501	E9/A-501	-		EXTERIOR	
104	2	3'-1 1/2"	7'-0"	1 3/4"	ALUMINUM	FG	W6	H9/ A-501	G9/ A-501	E9/A-501	-		EXTERIOR	
105	2	3'-1 1/2"	7'-0"	1 3/4"	ALUMINUM	FG	W6	H9/ A-501	G9/ A-501	E9/A-501	-		EXTERIOR	
106	2	3'-1 1/2"	7'-0"	1 3/4"	ALUMINUM	FG	W6	H9/ A-501	G9/ A-501	E9/A-501	-		EXTERIOR	
107	2	3'-6"	7'-0"	1 3/4"	ALUMINUM	FG	W3	H9/ A-501	G9/ A-501	E9/A-501	-		EXTERIOR	
108	2	3'-0"	7'-0"	1 3/4"	ALUMINUM	FG		H9/ A-501	G9/ A-501	E9/A-501	-		EXTERIOR	
109	1	3'-0"	7'-0"	1 3/4"	HOLLOW METAL	F1	DF1	E2/ A-501	C2/ A-501	A2/ A-501	-		EXTERIOR	
110	1	12'-0"	14'-0"	1"	METAL	OHC	-	E6/ A-501	C6/ A-501	A6/ A-501	-		-	
111	1	9'-0"	12'-0"	1"	METAL	OHC	-	E6/ A-501	C6/ A-501	A6/ A-501	-		-	
112	1	9'-0"	12'-0"	1"	METAL	OHC	-	E6/ A-501	C6/ A-501	A6/ A-501	-		-	
113	1	12'-0"	14'-0"	1"	METAL	OHC	-	E6/ A-501	C6/ A-501	A6/ A-501	-		-	
114	1	3'-0"	7'-0"	1 3/4"	HOLLOW METAL	F1	DF1	E2/ A-501	C2/ A-501	A2/ A-501	-		EXTERIOR	
115	1	3'-0"	7'-0"	1 3/4"	HOLLOW METAL	F1	DF1	E2/ A-501	C2/ A-501	A2/ A-501	-		EXTERIOR	
116	1	12'-0"	14'-0"	1"	METAL	OHC	-	E6/ A-501	C6/ A-501	A6/ A-501	-		-	
117	1	9'-0"	12'-0"	1"	METAL	OHC	-	E6/ A-501	C6/ A-501	A6/ A-501	-		-	
118	1	9'-0"	12'-0"	1"	METAL	OHC	-	E6/ A-501	C6/ A-501	A6/ A-501	-		-	
119	1	12'-0"	14'-0"	1"	METAL	OHC	-	E6/ A-501	C6/ A-501	A6/ A-501	-		-	
120	1	3'-0"	7'-0"	1 3/4"	HOLLOW METAL	F1	DF1	E2/ A-501	C2/ A-501	A2/ A-501	-		EXTERIOR	
121	1	3'-0"	7'-0"	1 3/4"	HOLLOW METAL	F1	DF1	E2/ A-501	C2/ A-501	A2/ A-501	-		EXTERIOR	
122	1	12'-0"	14'-0"	1"	METAL	OHC	-	E6/ A-501	C6/ A-501	A6/ A-501	-		-	
123	1	9'-0"	12'-0"	1"	METAL	OHC	-	E6/ A-501	C6/ A-501	A6/ A-501	-		-	
124	1	9'-0"	12'-0"	1"	METAL	OHC	-	E6/ A-501	C6/ A-501	A6/ A-501	-		-	
125	1	12'-0"	14'-0"	1"	METAL	OHC	-	E6/ A-501	C6/ A-501	A6/ A-501	-		-	
126	1	3'-0"	7'-0"	1 3/4"	HOLLOW METAL	F1	DF1	E2/ A-501	C2/ A-501	A2/ A-501	-		EXTERIOR	
127	1	3'-0"	7'-0"	1 3/4"	HOLLOW METAL	F1	DF1	E2/ A-501	C2/ A-501	A2/ A-501	-		EXTERIOR	
128	1	12'-0"	14'-0"	1"	METAL	OHC	-	E6/ A-501	C6/ A-501	A6/ A-501	-		-	
129	1	9'-0"	12'-0"	1"	METAL	OHC	-	E6/ A-501	C6/ A-501	A6/ A-501	-		-	
130	1	9'-0"	12'-0"	1"	METAL	OHC	-	E6/ A-501	C6/ A-501	A6/ A-501	-		-	
131	1	12'-0"	14'-0"	1"	METAL	OHC	-	E6/ A-501	C6/ A-501	A6/ A-501	-		-	
132	1	3'-0"	7'-0"	1 3/4"	HOLLOW METAL	F1	DF1	E2/ A-501	C2/ A-501	A2/ A-501	-		EXTERIOR	
133	2	3'-0"	7'-0"	1 3/4"	ALUMINUM	FG		H9/ A-501	G9/ A-501	E9/A-501	-		-	

WINDOW SCHEDULE (STOREFRONT/CURTAIN WALL)									
MARK	SIZE		MATERIAL	FINISH	DETAILS			GLAZING TYPE	COMMENTS
	WIDTH	HEIGHT			HEAD	JAMB	SILL		
W1	37'-6"	7'-2"	ALUMINUM	ANNODIZED	G4/ A-501	E4/ A-501	A4/ A-501	DOUBLE INSULATION	
W2	37'-0"	9'-2"	ALUMINUM	ANNODIZED	G4/ A-501	E4/ A-501	A4/ A-501	DOUBLE INSULATION	
W3	37'-0"	12'-2"	ALUMINUM	ANNODIZED	G4/ A-501	E4/ A-501	A4/ A-501	DOUBLE INSULATION	
W4	6'-8"	6'-8"	ALUMINUM	ANNODIZED	G4/ A-501	E4/ A-501	A4/ A-501	DOUBLE INSULATION	
W5	6'-8"	16'-0"	ALUMINUM	ANNODIZED	G4/ A-501	E4/ A-501	A4/ A-501	DOUBLE INSULATION	
W6	6'-8"	16'-0"	ALUMINUM	ANNODIZED	G4/ A-501	E4/ A-501	A4/ A-501	DOUBLE INSULATION	
W7	37'-0"	7'-2"	ALUMINUM	ANNODIZED	G4/ A-501	E4/ A-501	A4/ A-501	DOUBLE INSULATION	
W8	37'-0"	9'-2"	ALUMINUM	ANNODIZED	G4/ A-501	E4/ A-501	A4/ A-501	DOUBLE INSULATION	
W9	37'-0"	12'-2"	ALUMINUM	ANNODIZED	G4/ A-501	E4/ A-501	A4/ A-501	DOUBLE INSULATION	
W10	6'-8"	6'-8"	ALUMINUM	ANNODIZED	G4/ A-501	E4/ A-501	A4/ A-501	DOUBLE INSULATION	
W11	16'-0"	6'-8"	ALUMINUM	ANNODIZED	G4/ A-501	E4/ A-501	A4/ A-501	DOUBLE INSULATION	
W12	16'-0"	6'-8"	ALUMINUM	ANNODIZED	G4/ A-501	E4/ A-501	A4/ A-501	DOUBLE INSULATION	
W13	37'-0"	12'-2"	ALUMINUM	ANNODIZED	G4/ A-501	E4/ A-501	A4/ A-501	DOUBLE INSULATION	
W14	30'-9"	7'-2"	ALUMINUM	ANNODIZED	G4/ A-501	E4/ A-501	A4/ A-501	DOUBLE INSULATION	
W15	16'-0"	9'-2"	ALUMINUM	ANNODIZED	G4/ A-501	E4/ A-501	A4/ A-501	DOUBLE INSULATION	
W16	4'-0"	7'-2"	ALUMINUM	ANNODIZED	G4/ A-501	E4/ A-501	A4/ A-501	DOUBLE INSULATION	
W17	16'-0"	12'-2"	ALUMINUM	ANNODIZED	G4/ A-501	E4/ A-501	A4/ A-501	DOUBLE INSULATION	
W18	4'-0"	12'-2"	ALUMINUM	ANNODIZED	G4/ A-501	E4/ A-501	A4/ A-501	DOUBLE INSULATION	

FINISH SCHEDULE									
ROOM NO	ROOM NAME	FLOOR	BASE	WALLS				CEILING	NOTES
				N	E	S	W	MATL	
101	WAREHOUSE/ OFFICE	SEALED CONCRETE	-	NONE	NONE	NONE	NONE	EXPOSED STRUCTURE	
102	ENTRY 2	NONE	-	NONE	NONE	NONE	NONE	EXPOSED STRUCTURE	
103	ENTRY 3	NONE	-	NONE	NONE	NONE	NONE	EXPOSED STRUCTURE	
104	ENTRY 4	NONE	-	NONE	NONE	NONE	NONE	EXPOSED STRUCTURE	
105	ENTRY 5	NONE	-	NONE	NONE	NONE	NONE	EXPOSED STRUCTURE	
106	ENTRY 6	NONE	-	NONE	NONE	NONE	NONE	EXPOSED STRUCTURE	
107	ENTRY 7	NONE	-	NONE	NONE	NONE	NONE	EXPOSED STRUCTURE	
108	WAREHOUSE SUITE 108								
109	Room								
110	Room								
111	Room								
112	WAREHOUSE SUITE 107								
113	WAREHOUSE SUITE 106								
114	WAREHOUSE SUITE 105								
115	Room								
116	Room								
117	WAREHOUSE SUITE 104								
118	WAREHOUSE SUITE 103								
119	WAREHOUSE SUITE 102								
120	WAREHOUSE SUITE 101								

**WILSON & COMPANY**  
 4401 MASTHEAD STREET NE  
 SUITE 150  
 ALBUQUERQUE, NM 87109  
 PHONE: (505) 946-4000

CONSULTANTS

SEAL

PROJECT NAME:

PREWITT SPEC BUILDING

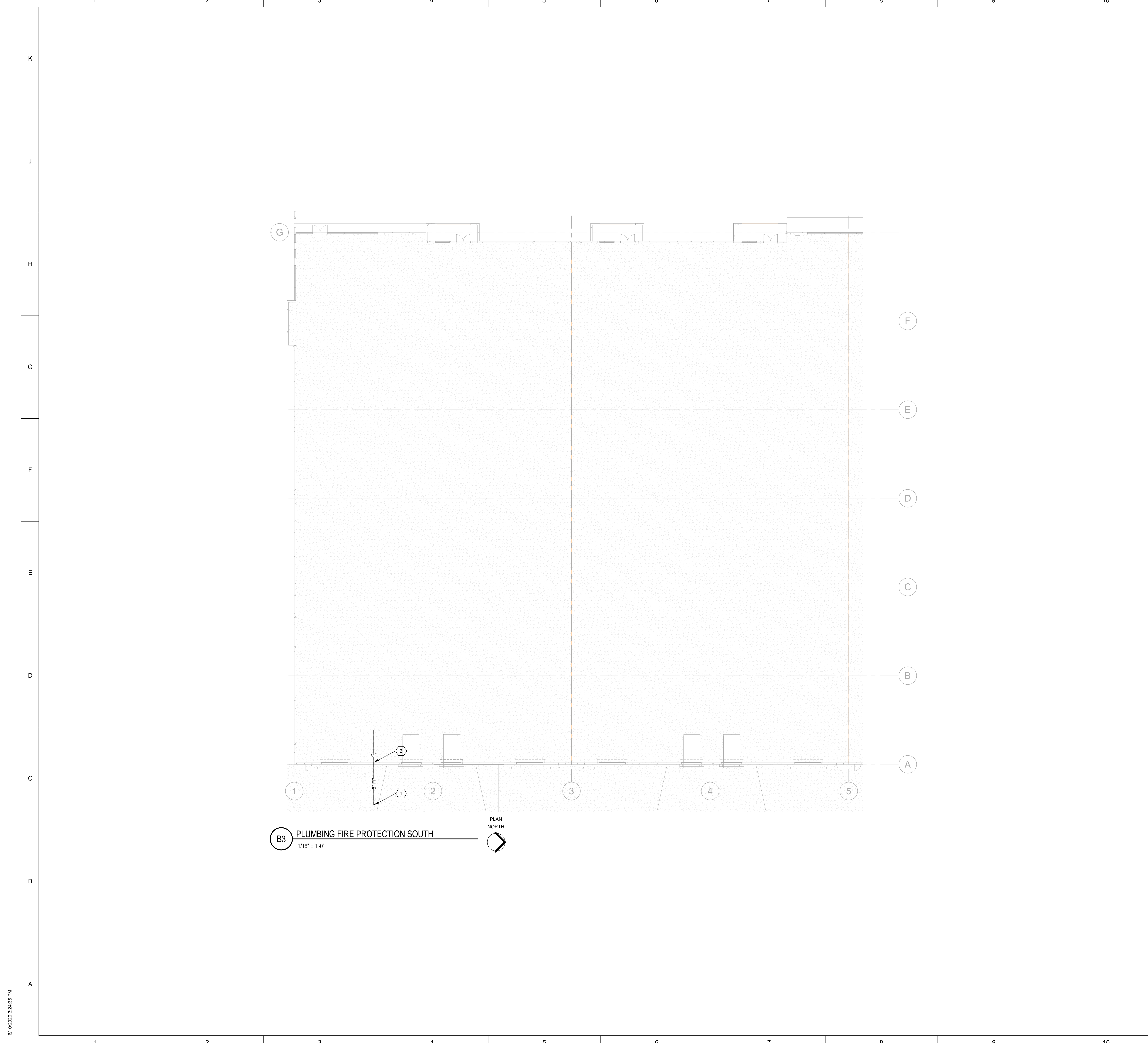
MARK	DATE	DESCRIPTION

PROJECT NO:  
19-600-071-00  
 DRAWN BY  
 CHECKED BY  
 SHEET TITLE  
**SCHEDULES & DETAILS**

**A-601**  
 SHEET \_\_\_ OF \_\_\_

1 2 3 4 5 6 7 8 9 10 11 12





**B3** PLUMBING FIRE PROTECTION SOUTH  
 1/16" = 1'-0"



**GENERAL SHEET NOTES**

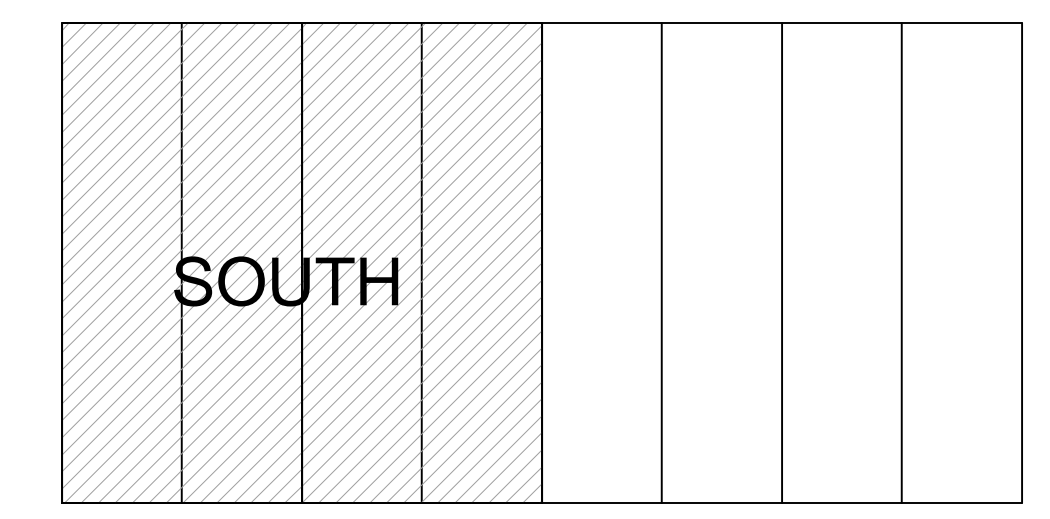
AUTOMATIC SPRINKLER FIRE PROTECTION SYSTEM CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE AUTOMATIC SPRINKLER SYSTEM FOR ALL NEW CONSTRUCTION, INCLUDING OVERHANGS, CANOPIES, ELECTRICAL ROOMS, ELEVATOR EQUIPMENT ROOMS, ETC.  
 IT IS ASSUMED THAT THE SITE HAS ADEQUATE PRESSURE AND A FIRE PUMP IS NOT NECESSARY.

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**SHEET KEYNOTES**

1. TO BE COORDINATED WITH CIVIL FOR CONTINUATION.
2. PROPOSED FIRE SERVICE ENTRANCE.

**KEY PLAN**



CONSULTANTS

SEAL

PROJECT NAME:

PREWITT SPEC BUILDING

MARK

DATE

PROJECT NO:

Project Number

DRAWN BY

Author

CHECKED BY

Checker

SHEET TITLE

FIRE PROTECTION PLAN SOUTH

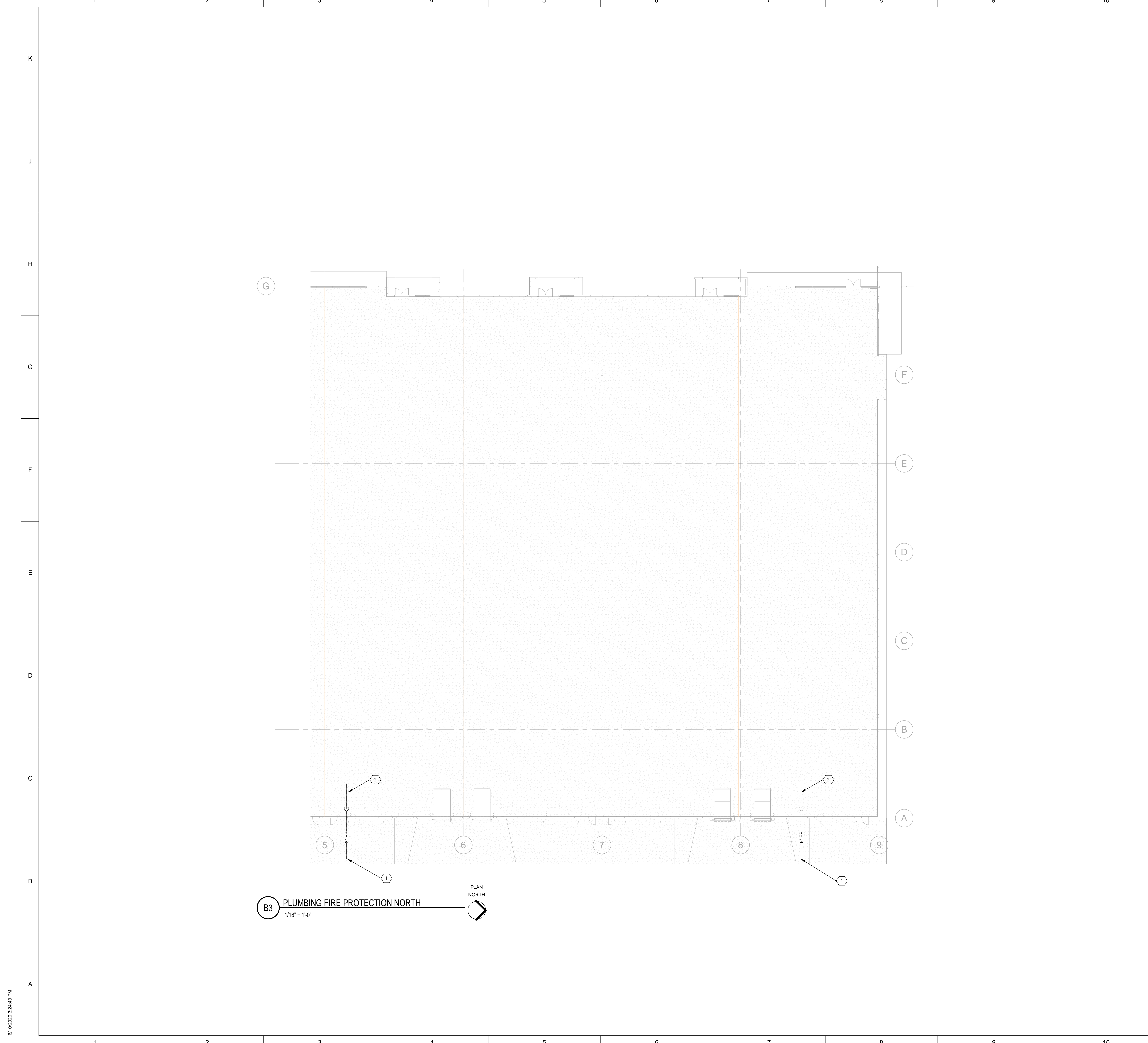
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FP101



**GENERAL SHEET NOTES**

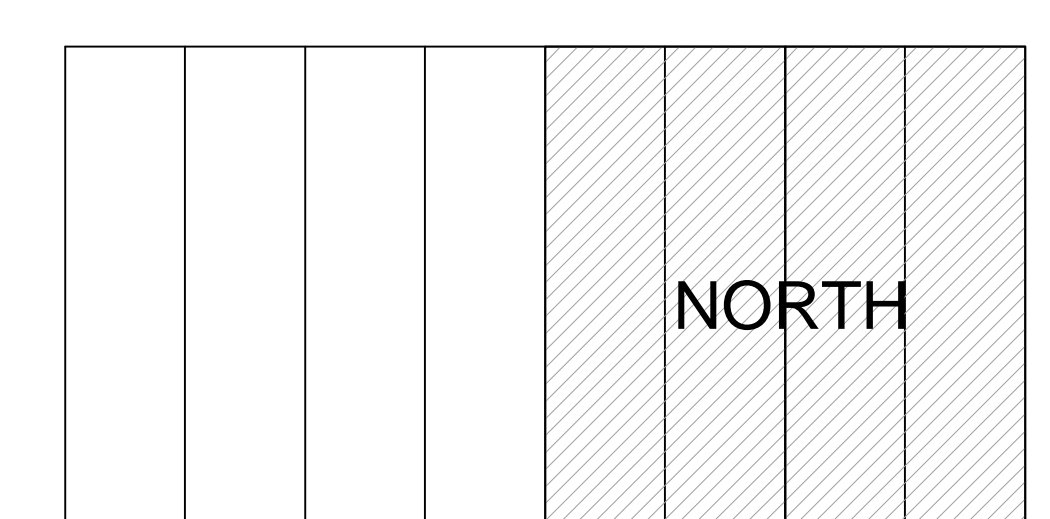
AUTOMATIC SPRINKLER FIRE PROTECTION SYSTEM CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE AUTOMATIC SPRINKLER SYSTEM FOR ALL NEW CONSTRUCTION, INCLUDING OVERHANGS, CANOPIES, ELECTRICAL ROOMS, ELEVATOR EQUIPMENT ROOMS, ETC.  
 IT IS ASSUMED THAT THE SITE HAS ADEQUATE PRESSURE AND A FIRE PUMP IS NOT NECESSARY.

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**SHEET KEYNOTES**

1. TO BE COORDINATED WITH CIVIL FOR CONTINUATION.
2. PROPOSED FIRE SERVICE ENTRANCE.

**KEY PLAN**



CONSULTANTS

SEAL

PROJECT NAME:  
**PREWITT SPEC BUILDING**

MARK	DATE	DESCRIPTION

PROJECT NO:  
 Project Number  
 DRAWN BY: Author  
 CHECKED BY: Checker  
 SHEET TITLE  
**FIRE PROTECTION PLAN NORTH**

**FP102**  
 SHEET \_\_\_ OF \_\_\_

PLUMBING LEGEND	
MARK	DEFINITION
--- CW ---	DOMESTIC COLD WATER TAG
---	DOMESTIC COLD WATER LINE
--- HW ---	DOMESTIC HOT WATER TAG (110°F)
---	DOMESTIC HOT WATER LINE (110°F)
--- HWR ---	HOT WATER RETURN TAG
---	HOT WATER RETURN LINE
--- GA ---	NATURAL GAS LINE
--- SS ---	SANITARY SEWER LINE
--- GT ---	GREASE TRAP LINE
--- V ---	SANITARY VENT LINE
--- CD ---	CONDENSATE DRAIN LINE
--- P ---	PIPE DROP
--- R ---	PIPE RISER
--- H ---	PIPE HEADER
--- E ---	END-OF LINE CLEANOUT
--- F ---	FLOW DIRECTION
--- S ---	RAG: LINE IS EXTENDED ELSEWHERE
--- O ---	PLUMBING OFFSET (SCHEMATIC ONLY)
--- W ---	FREEZE PROOF WALL HYDRANT
--- B ---	BALANCING VALVE WITH PRESSURE PORTS (CIRCUIT SETTER)
--- I ---	ISOLATION VALVE
--- X ---	CONNECT TO EXISTING AT THIS POINT
--- R ---	REMOVE PORTION OF WORK AND PROPERLY CAP AND SEAL
--- S ---	SANITARY SEWER 90° TURN UTILIZING TWO 1/4 BENDS - THIS PREVENTS THE REQUIREMENT FOR A C.O.
///	PIPING TO BE PART OF DEMOLITION
RS/RL	REFRIGERANT PIPING - SUCTION AND LIQUID

PLUMBING ABBREVIATIONS			
ABBREVIATION	DEFINITION	ABBREVIATION	DEFINITION
AFF	ABOVE FINISHED FLOOR	LDBT	LEAVING DRY BULB TEMPERATURE
AFG	ABOVE FINISHED GRADE	LWBT	LEAVING WET BULB TEMPERATURE
AHJ	AUTHORITY HAVING JURISDICTION	LWT	LEAVING WATER TEMPERATURE
ARCH	ARCHITECT	MAT	MIXED AIR TEMPERATURE
C/C	COOLING COIL	MBH	THOUSAND BTU PER HOUR
CFH	CUBIC FEET PER HOUR	MCA	MINIMUM CIRCUIT AMPACITY
CFM	CUBIC FEET PER MINUTE	MH	MANHOLE
CL	CENTERLINE	MISC	MISCELLANEOUS
CLG	CEILING	MOCP	MAXIMUM OVERCURRENT PROTECTION
CO	CARBON MONOXIDE	NC	NOISE CRITERIA
COO	CLEANOUT	NEC	NATIONAL ELECTRICAL CODE
COTG	CLEANOUT TO GRADE	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
CO2	CARBON DIOXIDE	NTS	NOT TO SCALE
CU	CONDENSING UNIT	OA	OUTSIDE AIR
CW	COLD WATER	OFD	OVERFLOW DRAIN
DB	DRY BULB	PC	PLUMBING CONTRACTOR
DDC	DIRECT DIGITAL CONTROLS	PPM	PARTS PER MILLION
DEG F	DEGREES FAHRENHEIT	PRV	PRESSURE REDUCING VALVE
DS	DOWNSPOUT	PSI	POUNDS PER SQUARE INCH
DWH	DOMESTIC WATER HEATER	QA	QUALITY ASSURANCE
EC	ELECTRICAL CONTRACTOR	QC	QUALITY CONTROL
EDBT	ENTERING DRY BULB TEMPERATURE	R	RADIUS
EF	EXHAUST FAN	RA	RETURN AIR
EL	ELEVATION	RAT	RETURN AIR TEMPERATURE
ETC	ET CETERA	RD	ROOF DRAIN
EWBT	ENTERING WET BULB TEMPERATURE	RH	RELATIVE HUMIDITY
EWT	ENTERING WATER TEMPERATURE	RM	ROOM
FCO	FLOOR CLEAN-OUT	RPM	REVOLUTIONS PER MINUTE
FD	FLOOR DRAIN	RTU	ROOF TOP UNIT
FDC	FIRE DEPARTMENT CONNECTION	RV	RELIEF VALVE
FIN FLR	FINISHED FLOOR	SA	SUPPLY AIR
FH	FIRE HYDRANT	SD	STORM DRAIN
FPMB	FREEZE-PROOF HOSE BIBB	SF	SQUARE FOOT
FPM	FEET PER MINUTE	SHR	SHOWER
FPWH	FREEZE-PROOF WALL HYDRANT	SS	SANITARY SEWER
FS	FLOOR SINK	SS	SERVICE SINK
GALV	GALVANIZED	SUB	SUBSTITUTE
GAS	NATURAL GAS	TG	TRAP GUARD
GC	GENERAL CONTRACTOR	TP	TRAP PRIMER
GCO	GRADE CLEANOUT	TSTAT	THERMOSTAT
GPD	GALLONS PER DAY	TYP	TYPICAL
GPM	GALLONS PER MINUTE	UNO	UNLESS NOTED OTHERWISE
GT	GREASE TRAP	UR	URNAL
HB	HOSE BIBB	V	VENT
HC	HEATING COIL	VIF	VERIFY IN FIELD
HD	HEAVY DUTY	VOLT	VOLTAGE
HT	HEIGHT	W/	WITH
HW	HOT WATER	W/O	WITHOUT
HWR	HOT WATER RETURN	WB	WET BULB
HWS	HOT WATER SUPPLY	WC	WATER CLOSET
IBC	INTERNATIONAL BUILDING CODE	WCO	WALL CLEANOUT
IO	INPUT/OUTPUT	WH	WALL HYDRANT
LAT	LEAVING AIR TEMPERATURE	WHA	WATER HAMMER ARRESTOR

**GENERAL PLUMBING REQUIREMENTS:**

- UNLESS OTHERWISE NOTED, THE WORK DESCRIBED ON THE PLANS AND SPECIFICATIONS SHALL INCLUDE THE FURNISHING AND INSTALLATION OF ALL LABOR AND MATERIALS NECESSARY FOR COMPLETE AND OPERATIONAL HVAC AND PLUMBING SYSTEMS. CONTRACTOR SHALL FURNISH THESE EVEN IF ITEMS REQUIRED TO ACHIEVE THIS (I.E. OFFSETS, ISOLATION AND BALANCING DEVICES, MAINTENANCE CLEARANCES, ETC.) ARE NOT SPECIFICALLY SHOWN.
- DATA GIVEN ON THE DRAWINGS IS AS EXACT AS COULD BE SECURED. ABSOLUTE ACCURACY IS NOT GUARANTEED AND THE CONTRACTOR SHALL OBTAIN AND VERIFY EXACT LOCATIONS, MEASUREMENTS, LEVELS, SPACE REQUIREMENTS, POTENTIAL CONFLICTS WITH OTHER TRADES, ETC. AT THE SITE AND SHALL SATISFACTORILY ADAPT HIS WORK TO ACTUAL CONDITIONS AT THE BUILDINGS. THE DRAWINGS ARE DIAGRAMMATICAL IN NATURE AND SHALL NOT BE SCALED. HOWEVER, THIS DOES NOT RELIEVE ANY SUB-CONTRACTOR FROM COORDINATING HIS WORK WITH ALL OTHER TRADES AND FROM ADJUSTING HIS WORK AS REQUIRED BY THE ACTUAL CONDITIONS OF THE PROJECT. THE CONTRACTOR SHALL VISIT THE SITE BEFORE SUBMITTING A BID TO BECOME THOROUGHLY FAMILIAR WITH THE ACTUAL CONDITIONS OF THE PROJECT.
- COORDINATE AND ADJUST ALL WORK BETWEEN TRADES AND EXISTING CONDITIONS IN ORDER TO ACCOMPLISH A NEAT, INTEGRATED AND EFFICIENT INSTALLATION. EXAMINE THE CONTRACT DOCUMENTS OF ALL TRADES (I.E. THE ARCHITECTURAL REFLECTED CEILING PLAN, ELECTRICAL LIGHTING PLAN, ETC.). COORDINATE NECESSARY EQUIPMENT, DUCTWORK AND PIPING LOCATIONS SO THAT THE FINAL INSTALLATION IS COMPATIBLE WITH THE MATERIALS AND EQUIPMENT OF THE OTHER TRADES. PREPARE SHOP DRAWINGS FOR INSTALLATION OF ALL NEW WORK BEFORE INSTALLATION TO VERIFY COORDINATION OF WORK BETWEEN TRADES.
- ALL CAPACITIES ARE SCHEDULED AT JOBSITE ALTITUDE OF 6,570 FT.
- VERIFY THE ELECTRICAL SERVICE PROVIDED BY THE ELECTRICAL CONTRACTOR BEFORE ORDERING ANY MECHANICAL EQUIPMENT REQUIRING ELECTRICAL CONNECTIONS.
- SUSPEND EACH TRADE'S WORK SEPARATELY FROM THE STRUCTURE. DUCTWORK SHALL BE HELD TIGHT TO STRUCTURE EXCEPT WHERE SHOWN.
- INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- PROVIDE MANUFACTURER'S RECOMMENDED SERVICE CLEARANCE ALL AROUND ALL EQUIPMENT REQUIRING SAME.
- PROVIDE FOR SAFE CONDUCT OF THE WORK, CAREFUL REMOVAL AND DISPOSITION OF MATERIALS AND PROTECTION OF PROPERTY WHICH IS TO REMAIN UNDISTURBED.
- PROVIDE ACCESS DOORS FOR ALL EQUIPMENT, VALVES, CLEANOUTS, ACTUATORS AND CONTROLS WHICH REQUIRE ACCESS FOR ADJUSTMENT OR SERVICING AND WHICH ARE LOCATED IN OTHERWISE UNACCESSIBLE LOCATIONS. FOR EQUIPMENT LOCATED IN "ACCESSIBLE LOCATIONS" SUCH AS LAY-IN CEILINGS: LOCATE EQUIPMENT TO PROVIDE ADEQUATE SERVICE CLEARANCE FOR NORMAL MAINTENANCE WITHOUT REMOVING ARCHITECTURAL, ELECTRICAL OR STRUCTURAL ELEMENTS SUCH AS THE CEILING SUPPORT SYSTEM, ELECTRICAL FIXTURES, ETC. "NORMAL MAINTENANCE" INCLUDES, BUT IS NOT LIMITED TO: FILTER CHANGING; GREASING OF BEARINGS; USING PIT PORTS FOR PRESSURE OR TEMPERATURE MEASUREMENTS; SERVICING CONTROL VALVES AND SERVICING CONTROL PANELS.
- NO DOMESTIC WATER, HEATING WATER OR CONDENSER WATER LINES SHALL BE LOCATED EXPOSED IN FINISHED SPACES OR BELOW THE BUILDING SLAB UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
- NO GAS LINES SHALL BE LOCATED BELOW BUILDING SLAB.
- ALL CURBS, ROOF JACKS, ROOF THIMBLES, SANITARY VENTS, ROOF DRAINS, ETC. SHALL BE COMPATIBLE WITH ROOFING SYSTEM TO BE PROVIDED. REFERENCE ARCHITECTURAL DIVISION FOR REQUIRED FLASHING DETAILS.
- THE ELECTRICAL POWER FOR CERTAIN EQUIPMENT PROVIDED UNDER MECHANICAL SPECIFICATIONS, HAS NOT BEEN SPECIFICALLY INDICATED ON THE ELECTRICAL DRAWINGS AND MUST BE FIELD COORDINATED BY THE DIVISION REQUIRING SUCH POWER. SUCH EQUIPMENT INCLUDES, BUT IS NOT LIMITED TO: (A) TEMPERATURE CONTROL PANELS, AND JUNCTION BOXES FOR 24V CONTROL TRANSFORMERS, REQUIRED CONNECTION ARE INCLUDED IN MECHANICAL SPECIFICATIONS AND WILL BE SHOWN BY THAT CONTRACTOR'S CONTROL SUBMITTAL DRAWINGS. (B) CONTRACTOR SHALL PROVIDE POWER TO THESE DEVICES AT NO EXTRA COST TO THE PROJECT. COORDINATE EXACT REQUIREMENTS AND COSTS WITH ENGINEER PRIOR TO SUBMITTING BID.
- PROVIDE ALL REQUIRED PERMITS, INSPECTIONS AND COORDINATION WITH GOVERNING AUTHORITIES.

**GENERAL PLUMBING REQUIREMENTS (CONTINUED):**

- QUALITY CONTROL: (A) QUALIFICATION OF PRODUCTS: WHEN PRODUCTS ARE SPECIFIED BY MANUFACTURER AND MODEL NUMBER, EQUIVALENT PRODUCTS BY OTHER MANUFACTURERS LISTED MAY BE PROVIDED. PRODUCT EQUIVALENCY SHALL BE DETERMINED BY ENGINEER. (B) IF A PRODUCT SUBMITTED AS AN EQUIVALENT IS DEEMED UNACCEPTABLE TO THE ENGINEER, THE SPECIFIED PRODUCT SHALL BE PROVIDED AT NO EXTRA COST TO THE PROJECT. (C) SUBMITTALS SHALL INCLUDE REVISED AND SUPPLEMENTED CONTROL DIAGRAMS. (D) SUBMIT CUT-SHEETS ON ALL OF THE SPECIFIED EQUIPMENT.
- CONTRACTOR SHALL CREATE A LOG SHEET FOR REQUIRED TESTS. THE LOG SHEET WILL HAVE A COLUMN FOR REQUIRED TESTS, A COLUMN FOR ACCEPTANCE OF TEST, A COLUMN FOR REMARKS, AND A COLUMN FOR APPROVAL SIGNATURE.
- CONTRACTOR SHALL CREATE A LOG SHEET OF REQUIRED TRAINING. THE LOG SHEET WILL HAVE A COLUMN FOR THE TRAINED ITEM, A COLUMN FOR THE TIME, DATE AND DURATION OF THE TRAINING, AND A COLUMN FOR ACCEPTANCE OF TRAINING BY OWNER, ARCHITECT, OR ENGINEER.
- AFTER INSTALLATION OF SYSTEM, PERFORM AN OPERATIONAL TEST IN THE PRESENCE OF THE OWNER, ARCHITECT, OR ENGINEER. THIS TEST WILL CONSIST OF SUCCESSFULLY DEMONSTRATING: (A) APPEARANCE OF INSTALLATION. (B) FUNCTION OF ALL CONTROLS. (C) THE CONTROLS SHALL BE OPERATED IN THE FOLLOWING MODES IN EACH ZONE: OCCUPIED/UNOCCUPIED. (D) IF THE TEST IS NOT SUCCESSFUL IN THE OPINION OF THE ARCHITECT OR ENGINEER, DEFICIENCIES WILL BE REMEDIATED AND THE SYSTEM WILL BE RE-TESTED UNTIL THE TEST IS SUCCESSFUL. SECOND AND SUBSEQUENT TESTS WILL RESULT IN THE CONTRACTOR'S CONTRACT PAYMENT BEING REDUCED AN AMOUNT EQUAL TO 85 DOLLARS TIMES THE NUMBER OF ADDITIONAL HOURS SPENT BY THE ARCHITECT OR ENGINEER WITNESSING THE TEST.
- WHERE NEW MECHANICAL SYSTEMS ARE USED FOR TEMPORARY VENTILATION OR CLIMATE CONTROL, MECHANICAL EQUIPMENT INSTALLER SHALL PROVIDE CONSTRUCTION FILTERS, MAINTAIN EQUIPMENT, AND CLEAN, ADJUST AND PUT IN NEW CONDITION BEFORE BUILDING OCCUPANCY. PARTS AND LABOR WARRANTY SHALL NOT BE CONSIDERED TO START UNTIL ACCEPTANCE OF THE SYSTEM BY OWNER.
- PIPING: (A) PIPE INSTALLATION: (1) ALL PIPING SHALL BE ADEQUATELY SUPPORTED FROM THE BUILDING STRUCTURE TO PREVENT SAGGING, POCKETING, SWAYING OR DISPLACEMENT BY MEANS OF HANGERS AND SUPPORTS. PIPING IS NOT TO BE SUPPORTED BY EQUIPMENT. (2) PROVIDE DIELECTRIC UNIONS BETWEEN DISSIMILAR MATERIALS. (3) PROVIDE MANUAL AIR VENTS AND CAPPED HOSE-END DRAINS WITH ISOLATION VALVE AT PIPING HIGH AND LOW POINTS. (4) WELD PIPE IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS. WELDERS SHALL BE CERTIFIED FOR TYPE OF WELD BEING PERFORMED. (5) FLUSH OUT PIPING AND REMOVE CONTROL DEVICES BEFORE PERFORMING PRESSURE TEST. DO NOT USE PIPING SYSTEM VALVES TO ISOLATE SECTIONS WHERE TEST PRESSURE EXCEEDS VALVE PRESSURE RATING. PRESSURIZE PIPING AT 100 PSIG. IF LEAKAGE IS OBSERVED OR IF TEMPERATURE COMPENSATED PRESSURE DROP EXCEEDS 1% OF TEST PRESSURE, REPAIR LEAKS AND RETEST. DO NOT USE AIR PRESSURE TO TEST PLASTIC PIPE. (6) PROVIDE SUPPORT UNDER ELBOWS ON PUMP SUCTION AND DISCHARGE LINES. (7) ALL STRAINERS SHALL BE FURNISHED WITH A "ROUGHING" SCREEN AND TWO (2) SCREENS FOR NORMAL OPERATION. INSTALL STRAINER WITH ROUGHING SCREEN AND OPERATE SYSTEM FOR 24 HOURS MINIMUM (RUN DOMESTIC WATER SYSTEMS AT MAX FLOW FOR A MINIMUM OF ONE HALF (1/2) HOUR. REMOVE ROUGHING SCREEN AND INSTALL NORMAL SCREEN, AFTER TWO WEEKS OF NORMAL OPERATION INSTALL NEW NORMAL SCREEN.
- ALL MATERIALS ABOVE THE CEILINGS WHERE THIS SPACE IS USED AS A RETURN AIR PLENUM MUST BE NON-COMBUSTIBLE. ALL COMMUNICATIONS CABLE MUST BE PLENUM RATED AND ALL ELECTRICAL WIRING MUST BE IN A PLENUM RATED SHEATH OR CONDUIT. ALL PVC PIPING MUST BE ENCASED IN AN APPROVED INSULATION WITH A FLAME AND SMOKE SPREAD RATING OF 25/50.
- OWNER HAS FIRST RIGHT OF REFUSAL ON ALL EXISTING EQUIPMENT, FIXTURES, MATERIALS, ETC. BEING REMOVED AS PART OF THIS PROJECT.

**WILSON & COMPANY**  
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 ALBUQUERQUE, NM 87109  
 PHONE: (505) 948-4000

CONSULTANTS

SEAL

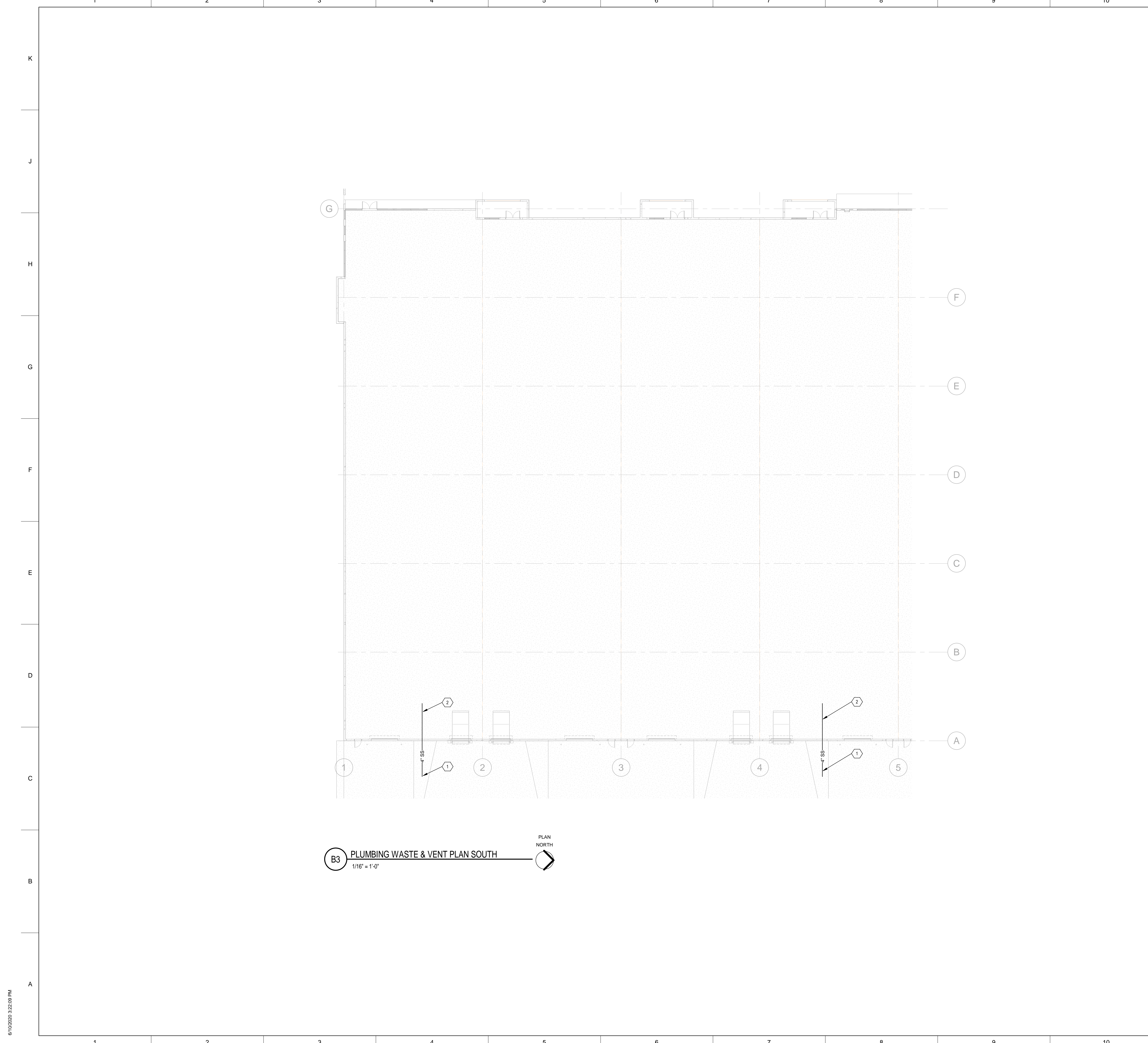
PROJECT NAME:

PREWITT SPEC BUILDING

MARK	DATE	DESCRIPTION

PROJECT NO:  
 Project Number  
 DRAWN BY Author  
 CHECKED BY Checker  
 SHEET TITLE  
**PLUMBING  
 GENERAL  
 NOTES &  
 LEGENDS**

**P-001**  
 SHEET OF



**B3** PLUMBING WASTE & VENT PLAN SOUTH  
 1/16" = 1'-0"  
 PLAN NORTH

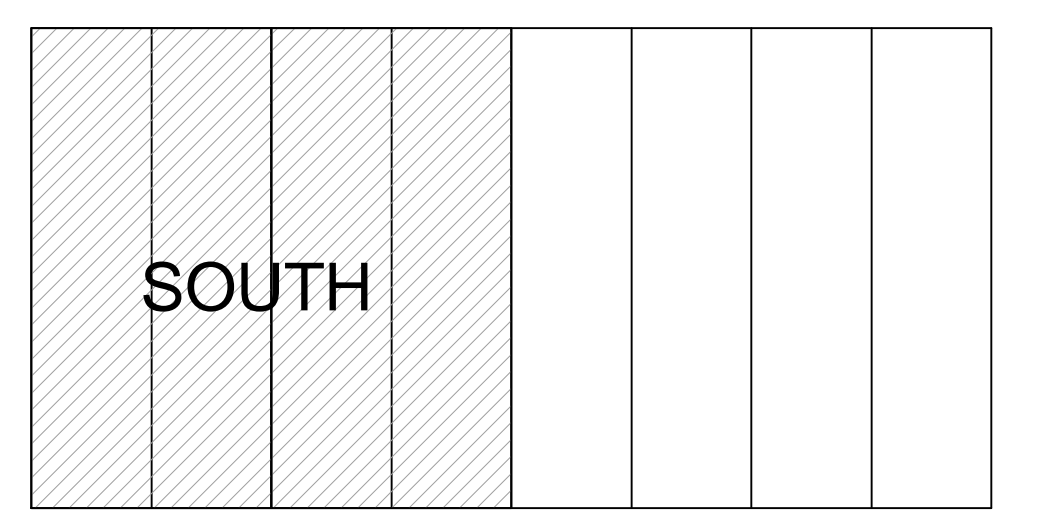
**GENERAL SHEET NOTES**

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- B. COORDINATE ALL PLUMBING AND PIPING WITH OTHER EQUIPMENT.
- C. INSTALL ALL MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- D. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION AND INSTALLATION HEIGHT OF ALL PLUMBING FIXTURES & EXACT BUILDING DIMENSIONS.
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- G. MANIFOLD ALL PLUMBING VENTS ABOVE FLOOD LEVEL OF PLUMBING FIXTURES.
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- J. ALL WATER RUNS ARE OVERHEAD AND SHALL BE CONCEALED WHEREVER POSSIBLE. ANY EXPOSED PIPING SHALL BE COORDINATED WITH AN ARCHITECT PRIOR TO INSTALLATION. SLOPE TO DRAIN.
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**SHEET KEYNOTES**

- 1. TO BE COORDINATED WITH CIVIL FOR CONTINUATION.
- 2. PROPOSED SANITARY SEWER SERVICE ENTRANCE.

**KEY PLAN**



**WILSON & COMPANY**  
 4401 MASTHEAD STREET, SUITE 150  
 ALBUQUERQUE, NM 87109  
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CONSULTANTS

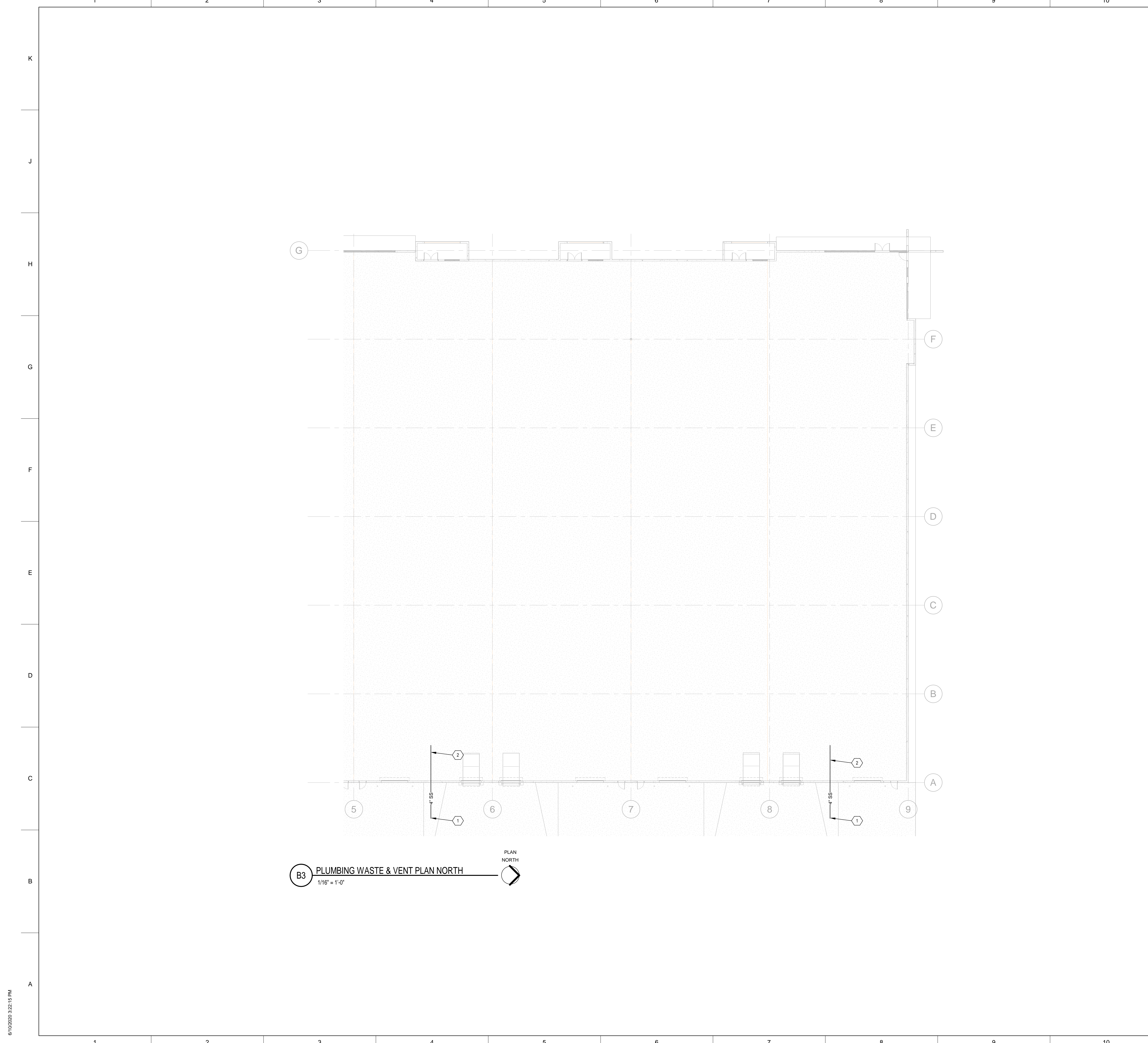
SEAL

PROJECT NAME:  
**PREWITT SPEC BUILDING**

MARK	DATE	DESCRIPTION

PROJECT NO:  
 Project Number  
 DRAWN BY Author  
 CHECKED BY Checker  
 SHEET TITLE  
**PLUMBING WASTE & VENT PLAN SOUTH**

**P-101**  
 SHEET \_\_\_ OF \_\_\_



**B3** PLUMBING WASTE & VENT PLAN NORTH  
 1/16" = 1'-0"  
 PLAN NORTH

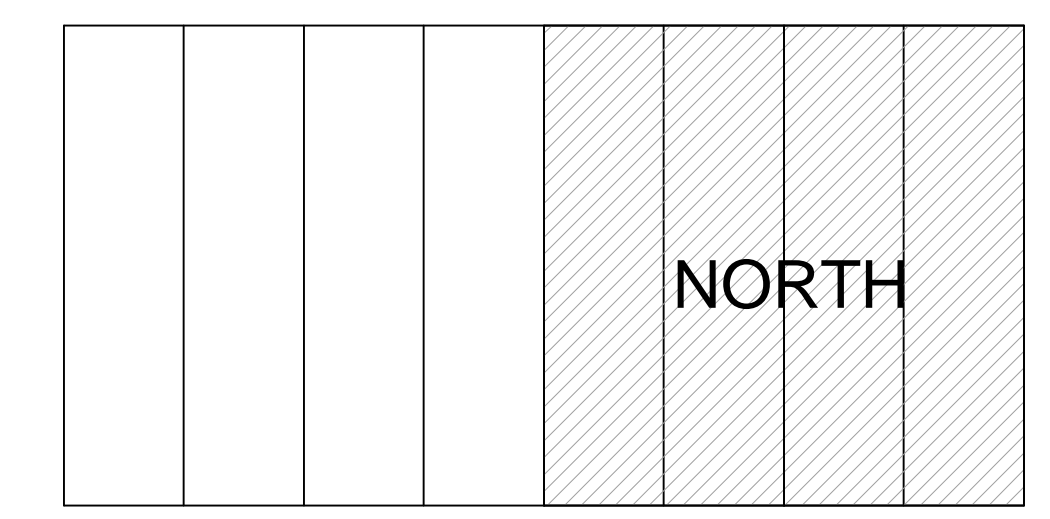
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**KEY PLAN**



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CONSULTANTS

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PROJECT NAME:  
**PREWITT SPEC BUILDING**

MARK	DATE	DESCRIPTION

PROJECT NO:  
 Project Number  
 DRAWN BY Author  
 CHECKED BY Checker  
 SHEET TITLE  
**PLUMBING WASTE & VENT PLAN NORTH**

**P-102**  
 SHEET \_\_\_ OF \_\_\_

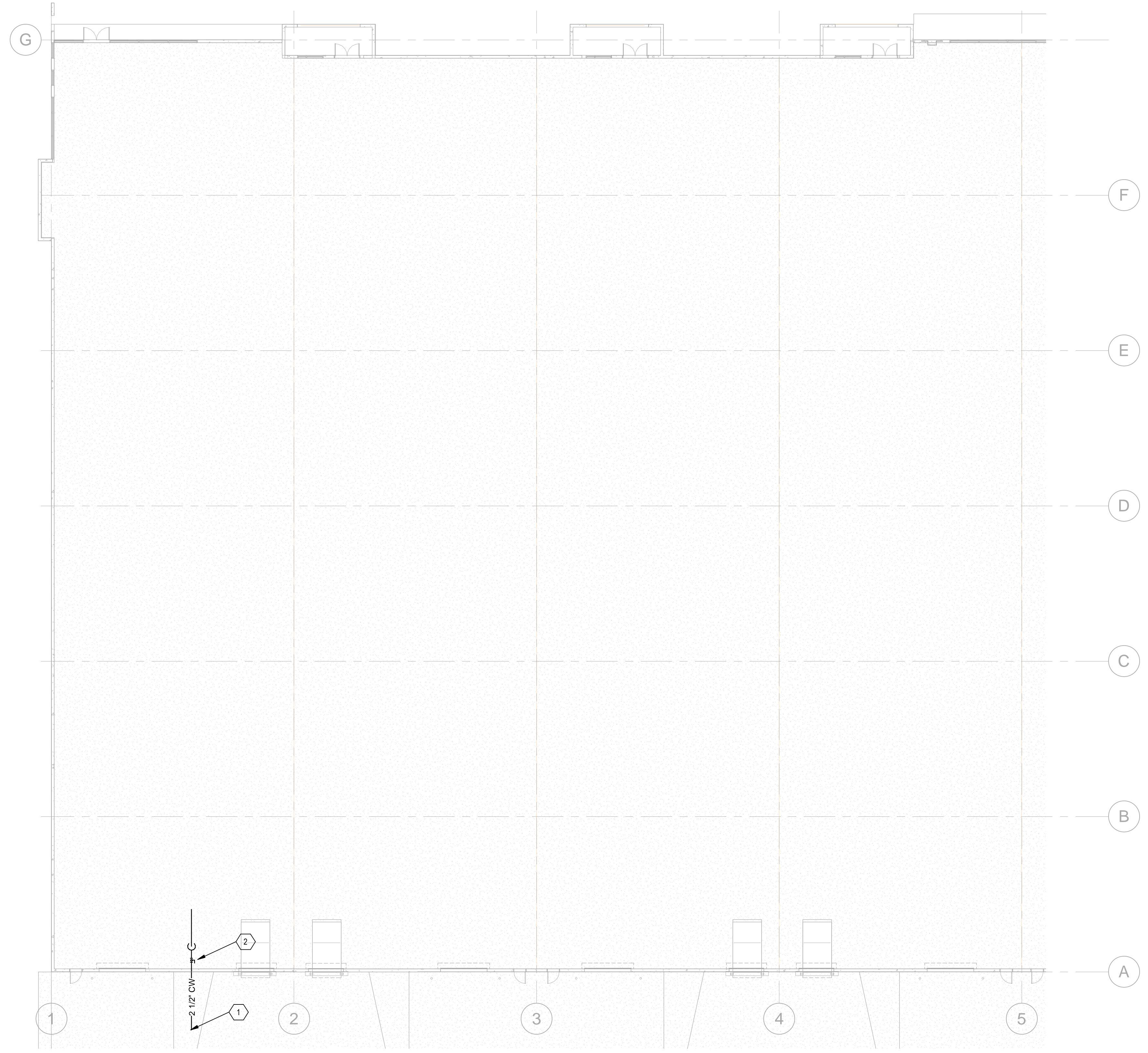
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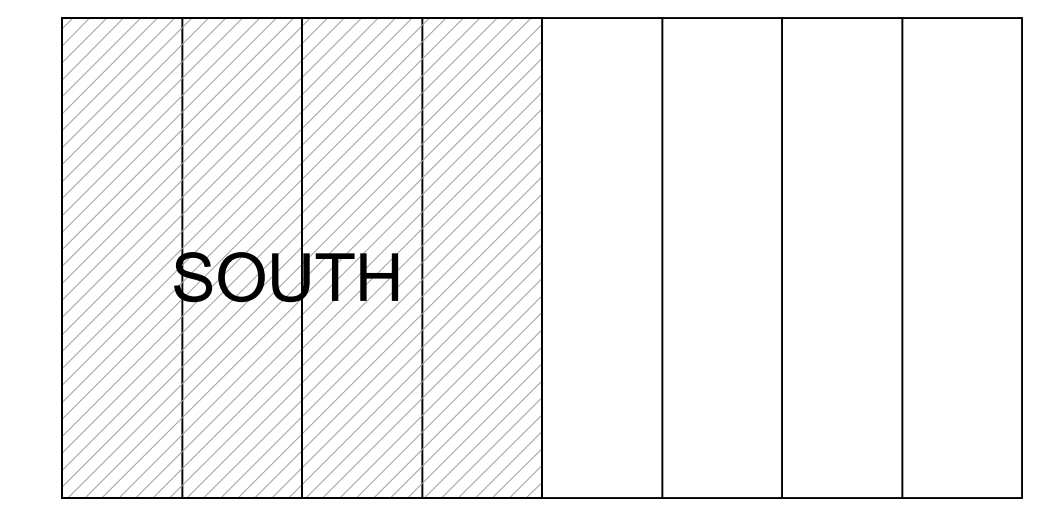
### SHEET KEYNOTES

- 1. TO BE COORDINATED WITH CIVIL FOR CONTINUATION.
- 2. PROPOSED DOMESTIC WATER SERVICE ENTRANCE PROVIDE SHUTOFF VALVE.



**B3** PLUMBING DOMESTIC WATER PLAN SOUTH  
 1/16" = 1'-0"  
 PLAN NORTH

### KEY PLAN



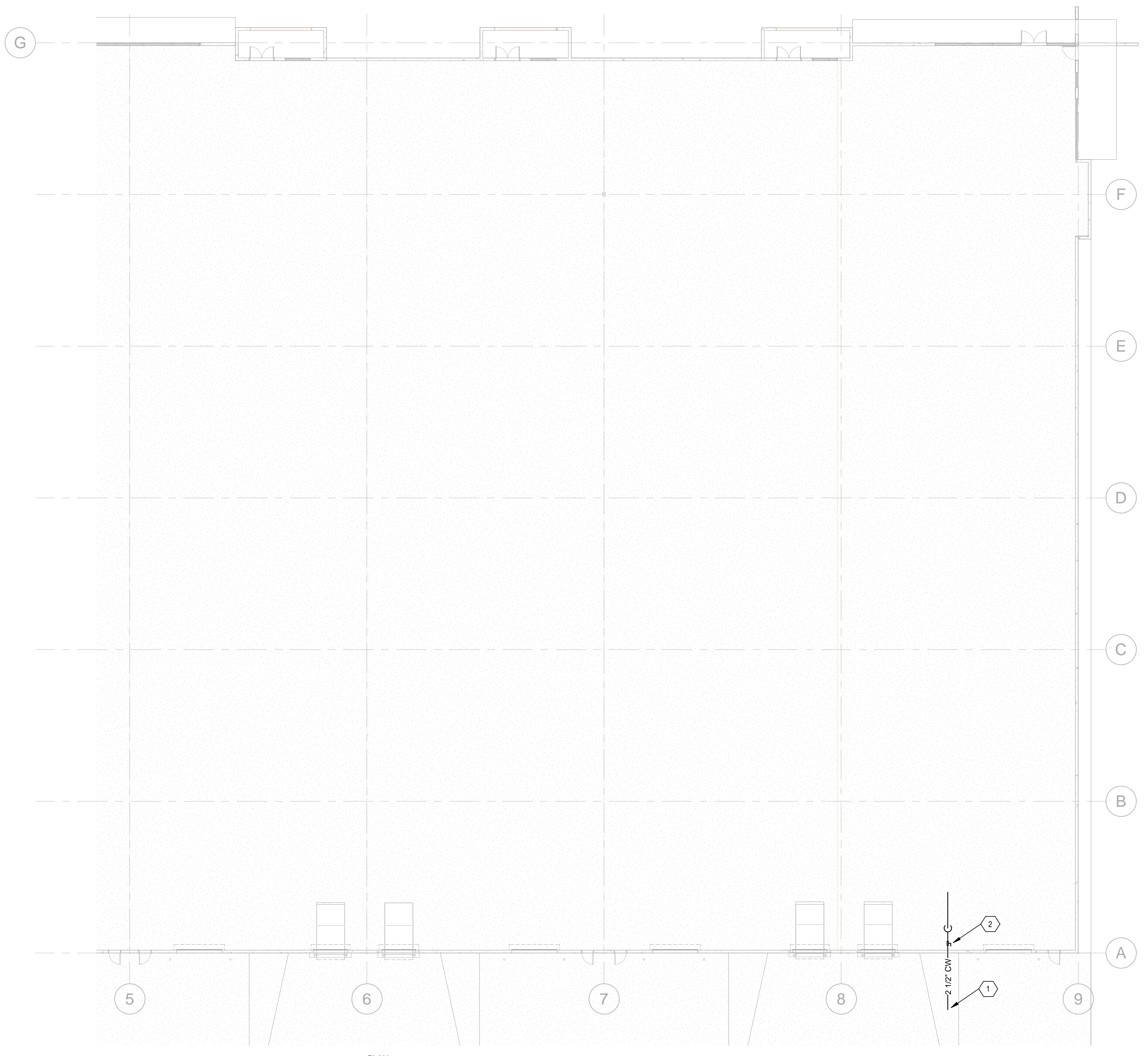
CONSULTANTS  
SEAL  
PROJECT NAME: PREWITT SPEC BUILDING

MARK	DATE	DESCRIPTION

PROJECT NO: \_\_\_\_\_  
 Project Number  
 DRAWN BY: \_\_\_\_\_ Author  
 CHECKED BY: \_\_\_\_\_ Checker  
 SHEET TITLE  
**PLUMBING DOMESTIC WATER PLAN SOUTH**

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 SHEET \_\_\_\_\_ OF \_\_\_\_\_

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**B3** PLUMBING DOMESTIC WATER PLAN NORTH  
 1/16" = 1'-0"  
 PLAN NORTH

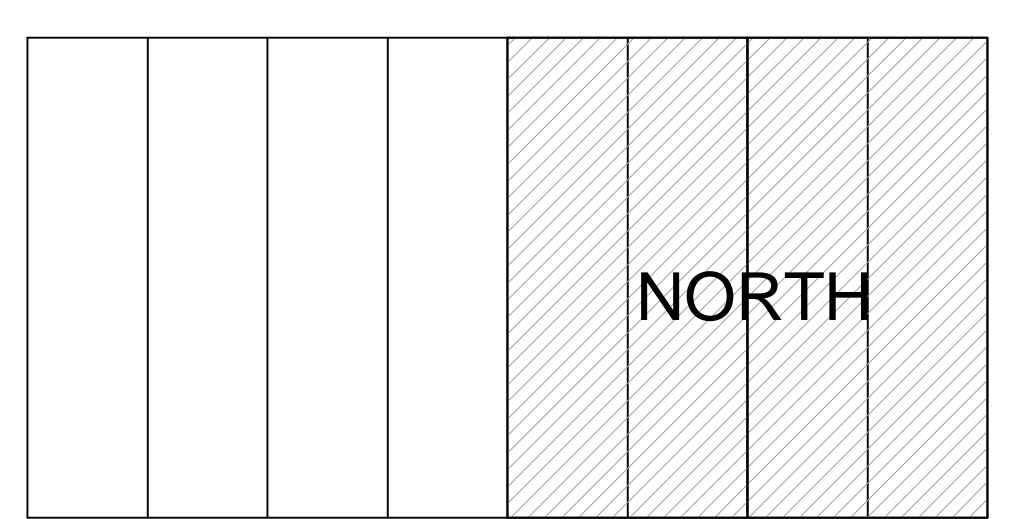
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**KEY PLAN**



**WILSON & COMPANY**  
 4401 MASTHEAD STREET, SUITE 150  
 ALBUQUERQUE, NM 87109  
 PHONE: (505) 348-4000

CONSULTANTS

SEAL

PROJECT NAME:  
**PREWITT SPEC BUILDING**

MARK	DATE	DESCRIPTION

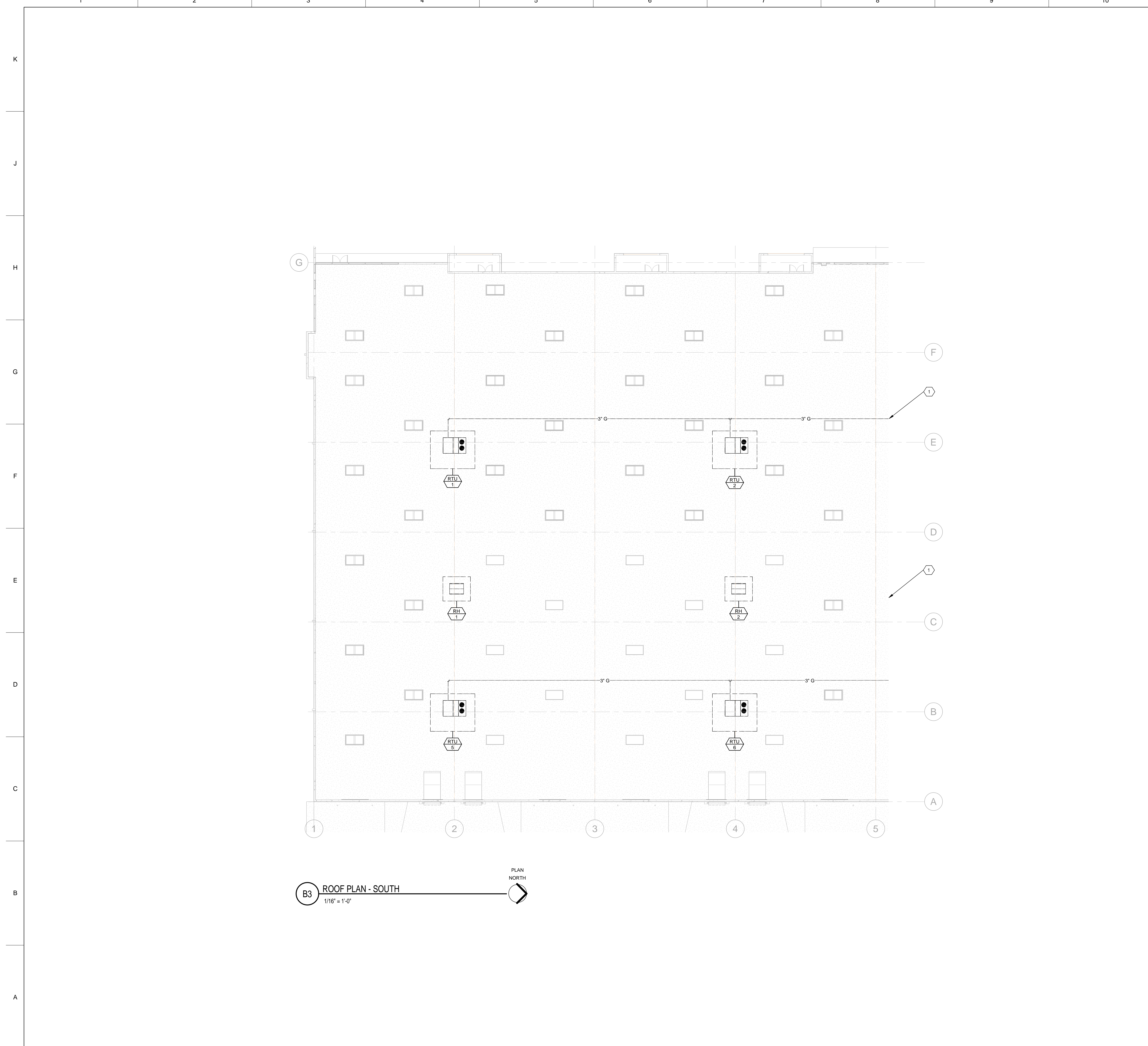
PROJECT NO:  
 Project Number  
 DRAWN BY: Author  
 CHECKED BY: Checker  
 SHEET TITLE  
**PLUMBING DOMESTIC WATER PLAN NORTH**

**P-104**  
 SHEET \_\_\_ OF \_\_\_

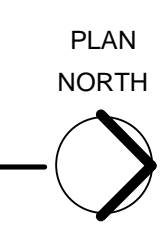




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**B3** ROOF PLAN - SOUTH  
1/16" = 1'-0"



**GENERAL SHEET NOTES**

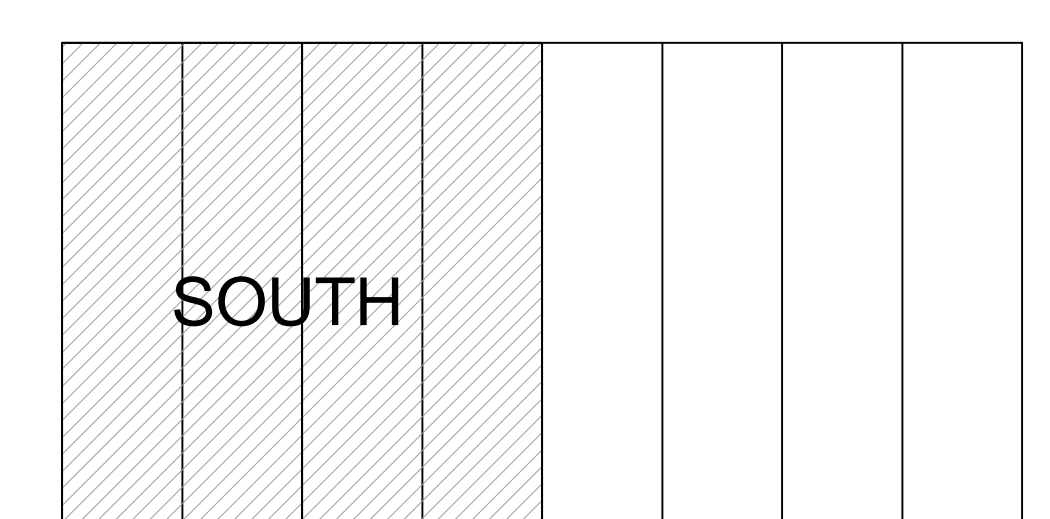
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- B. DO NOT ROUTE ANY PLUMBING, PIPING, DUCTWORK, ETC. OVER ANY ELECTRICAL PANELS.
- C. PROVIDE TURNING VANES IN ALL RECTANGULAR ELBOWS.
- D. PROVIDE FLEXIBLE CONNECTION ON ALL EQUIPMENT.
- E. CONTRACTOR TO COORDINATE DUCT LOCATIONS WITH JOIST LAYOUT AND STRUCTURAL AND ADJUST WHERE NECESSARY.
- F. SEE M-500 SHEETS FOR MECHANICAL DETAILS. SEE M-600 SHEETS FOR MECHANICAL SCHEDULES.
- G. CONTRACTOR TO VERIFY AND COORDINATE W/ ELECTRICAL ENGINEER AND CONTRACTOR FOR WIRING AND POWER REQUIRED.
- H. CONTRACTOR TO VERIFY AND COORDINATE STRUCTURAL SUPPORT AND OPENINGS IN FLOOR, ROOF AND WALLS.
- I. CONTRACTOR TO COORDINATE WITH MECHANICAL ENGINEER ON ANY OBSTRUCTIONS OR CONFLICTS REGARDING THE PROPOSED MECHANICAL LAYOUT.
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- K. COORDINATE WITH OWNER FOR EXACT LOCATION OF THERMOSTATS AND CONTROLS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CHANGES IN ORDER TO VERIFY FUNCTIONALITY.
- L. DIFFUSER NECK SIZE SHALL MATCH DUCT RUN-OUT SIZE, OTHERWISE NOTED ON PLANS, TYPICAL.

**WILSON & COMPANY**  
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ALBUQUERQUE, NM 87110  
PHONE: (505) 348-4000

**SHEET KEYNOTES**

- 1. REFER TO SHEET M-102 FOR CONTINUATION.

**KEY PLAN**



CONSULTANTS

SEAL

PROJECT NAME:

PREWITT SPEC BUILDING

MARK

DATE

DESCRIPTION

PROJECT NO:	Project Number
DRAWN BY:	Author
CHECKED BY:	Checker
SHEET TITLE:	MECHANICAL ROOF PLAN SOUTH

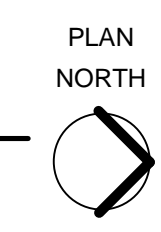
**M-101**  
SHEET \_\_\_ OF \_\_\_

K  
J  
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C  
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**B3** ROOF PLAN - NORTH  
1/16" = 1'-0"



**GENERAL SHEET NOTES**

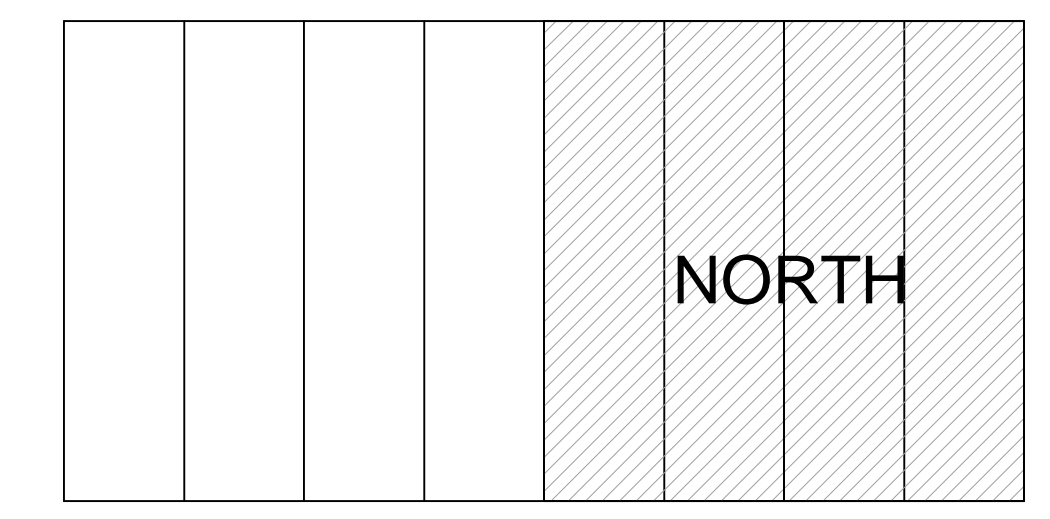
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**SHEET KEYNOTES**

- 1. REFER TO SHEET M-101 FOR CONTINUATION.
- 2. TO BE SIZED BY UTILITY SERVICE.

**KEY PLAN**



CONSULTANTS

SEAL

PROJECT NAME:  
**PREWITT SPEC BUILDING**

DESCRIPTION

DATE

MARK

PROJECT NO:  
Project Number  
DRAWN BY: Author  
CHECKED BY: Checker  
SHEET TITLE  
**MECHANICAL  
ROOF PLAN  
NORTH**

**M-102**  
SHEET OF

1 2 3 4 5 6 7 8 9 10

11 12

CONSULTANTS

SEAL

PROJECT NAME:

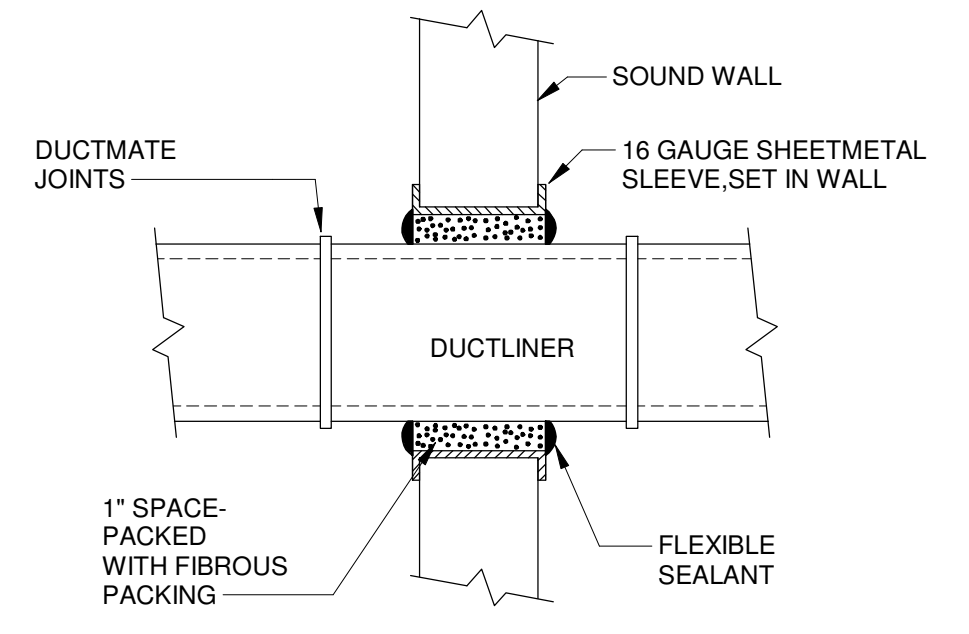
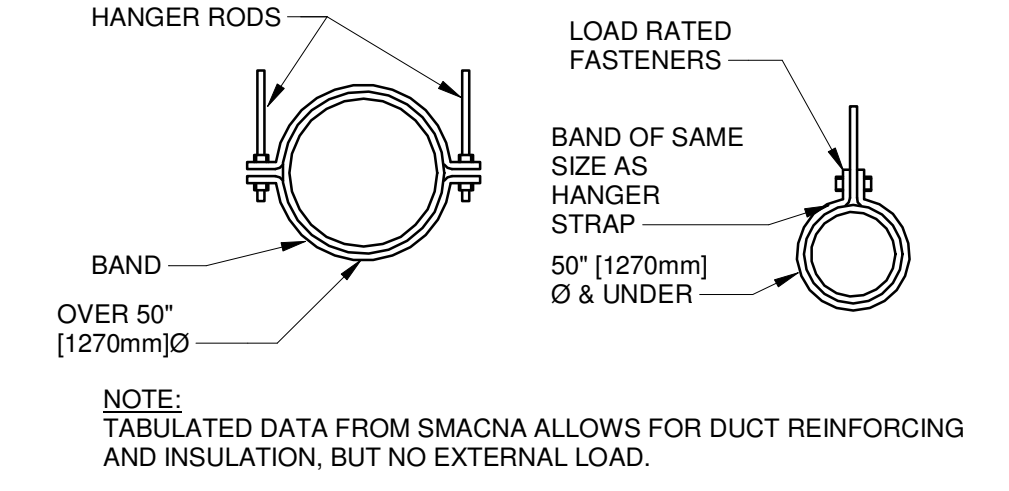
PREWITT SPEC BUILDING

DESCRIPTION

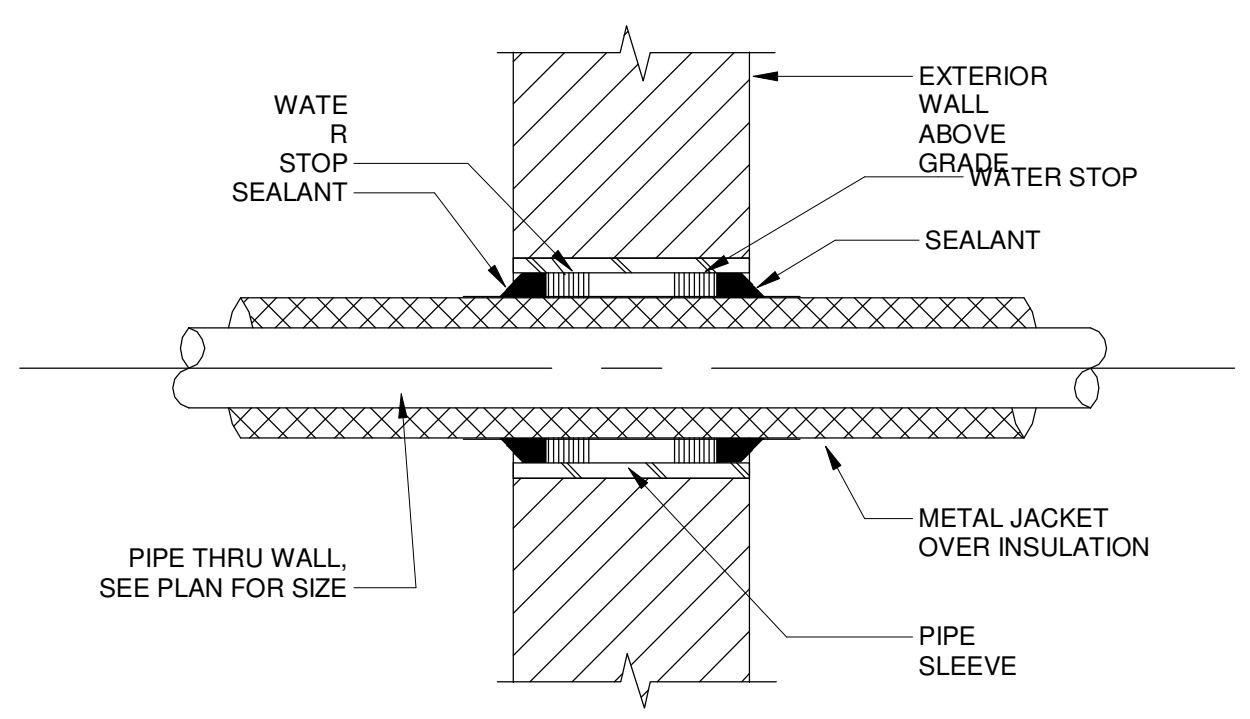
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M-501  
 SHEET OF

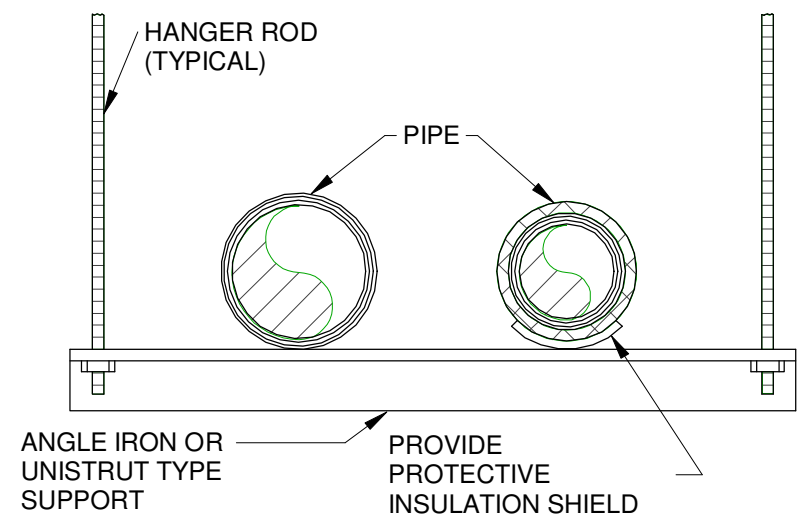
HANGER STRAPS OR RODS			
MAX. DUCT Ø IN. (mm)	QUANTITY/SIZE IN. (mm)	MAX. LOAD LBS. (kg)	MAX. SPACING IN. (mm)
26 (650)	ONE 1/25" x 22 GA STRAP	250 (113)	144 (3658)
36 (900)	ONE 1/25" x 18 GA STRAP	420 (190)	144 (3658)
50 (1250)	ONE 1/25" x 16 GA STRAP	700 (317)	144 (3658)
60 (1500)	TWO 3/8" (10) RODS	1320 (598)	144 (3658)
84 (2100)	TWO 1/2" (13) RODS	2500 (1133)	144 (3658)



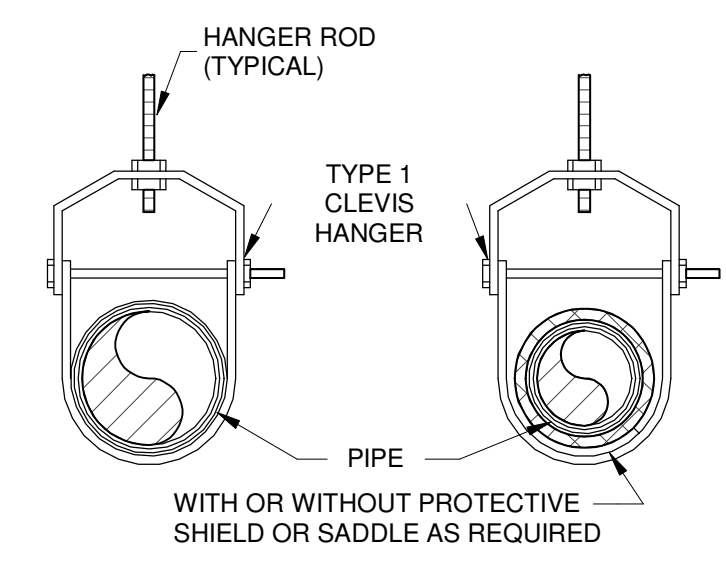
**F3** DUCT THRU WALL DETAIL  
NTS



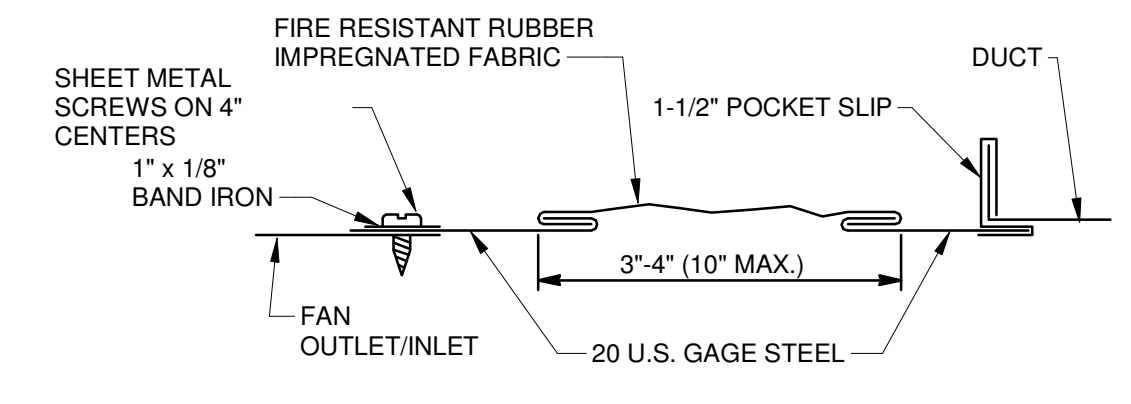
**F5** PIPE THRU WALL PENETRATION  
NTS



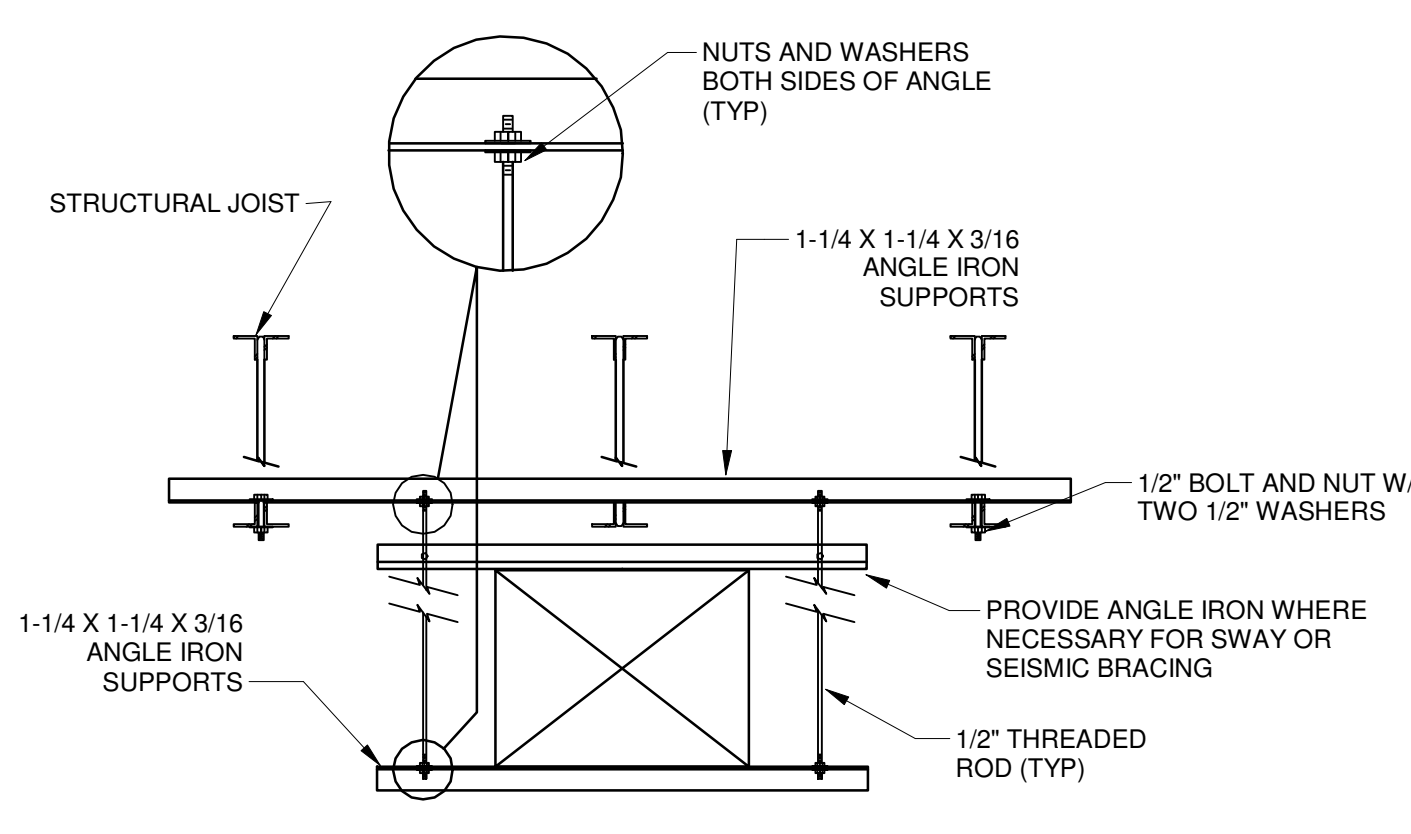
**F7** TRAPEZE PIPE HANGER DETAIL  
NTS



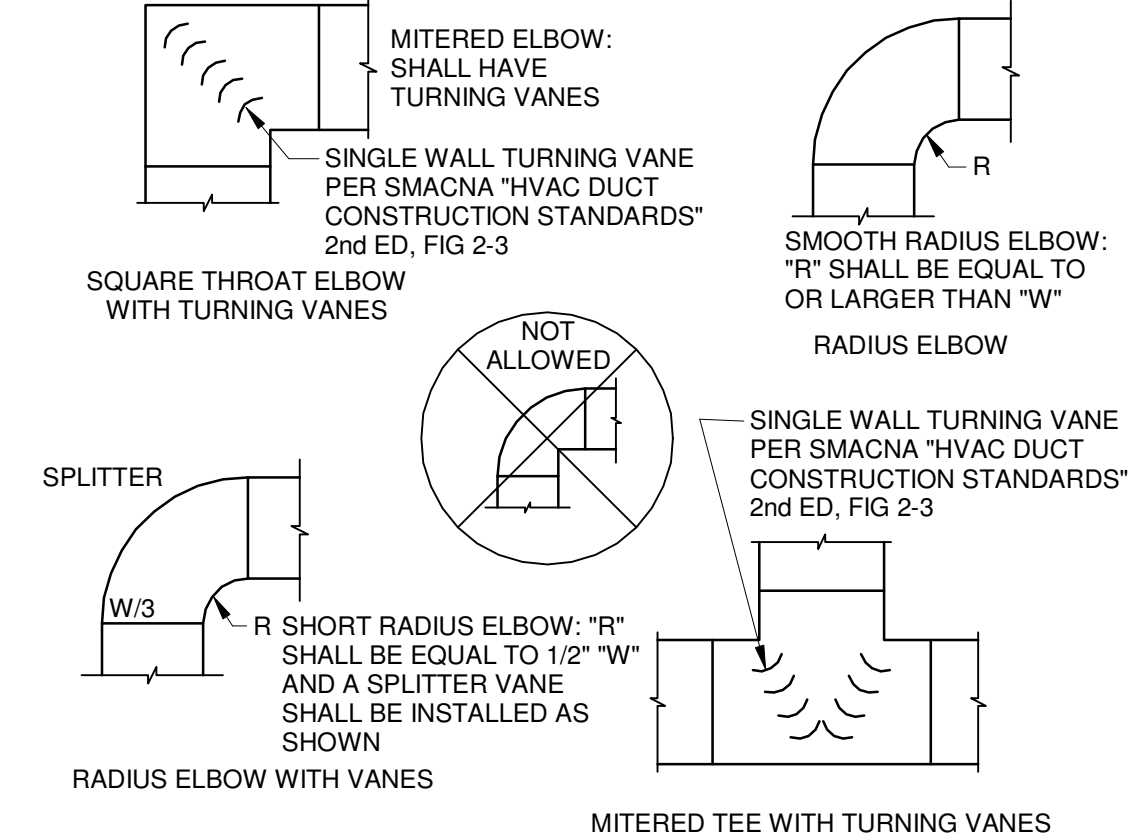
**H9** SINGLE PIPE HANGER DETAIL  
NTS



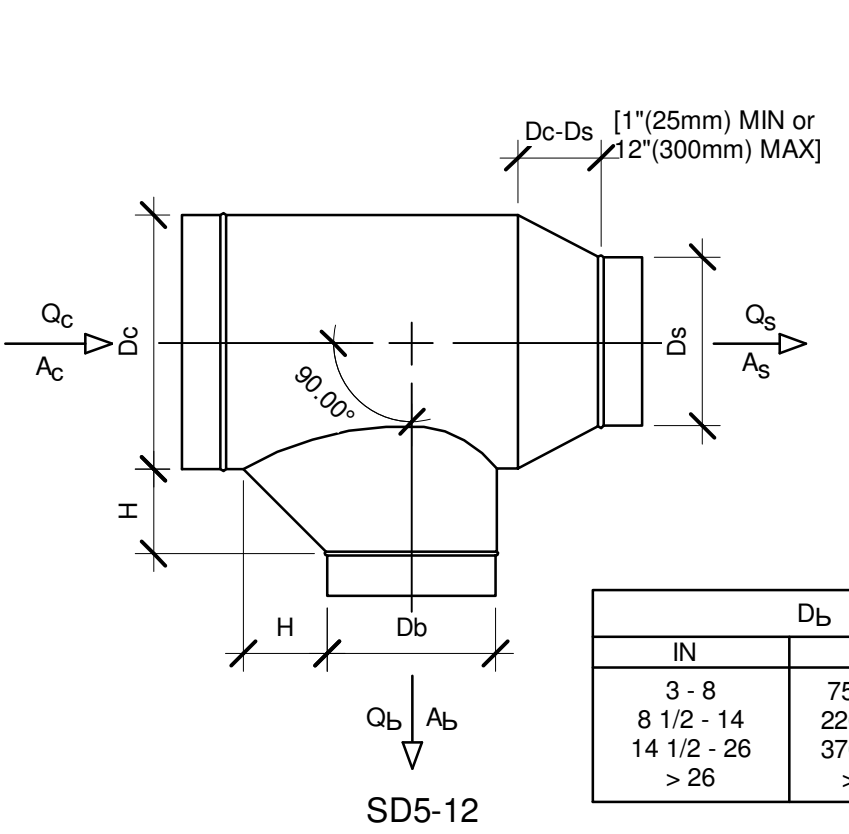
**F9** FLEX DUCT CONNECTION DETAIL  
NTS



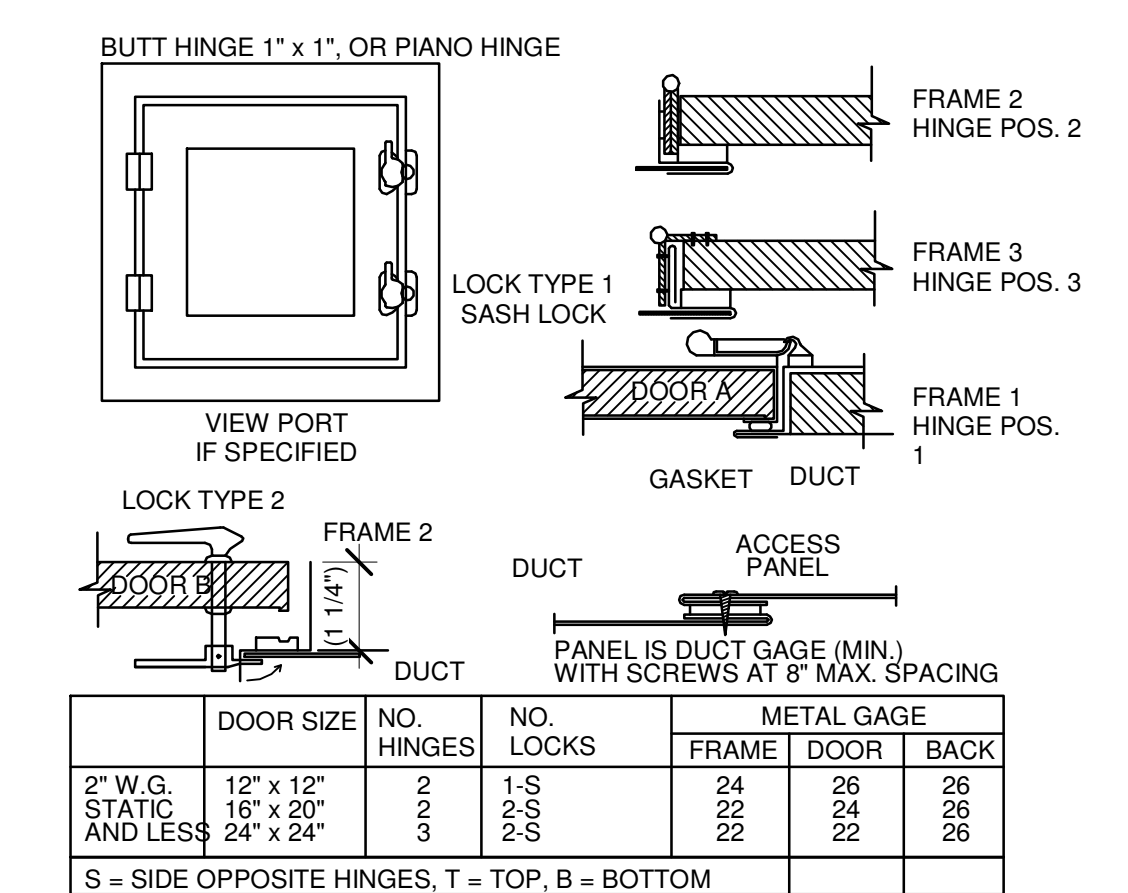
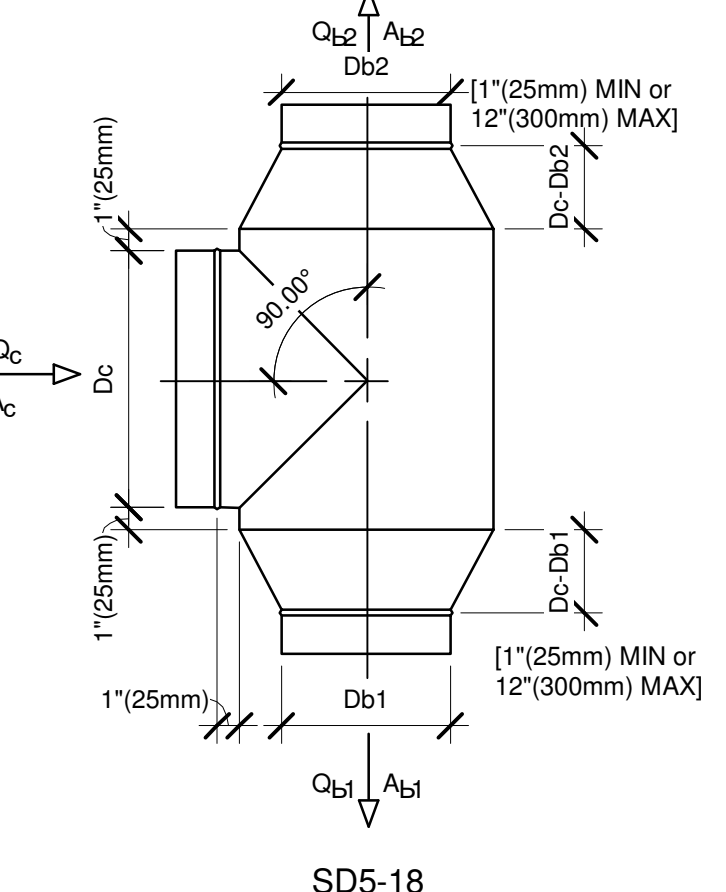
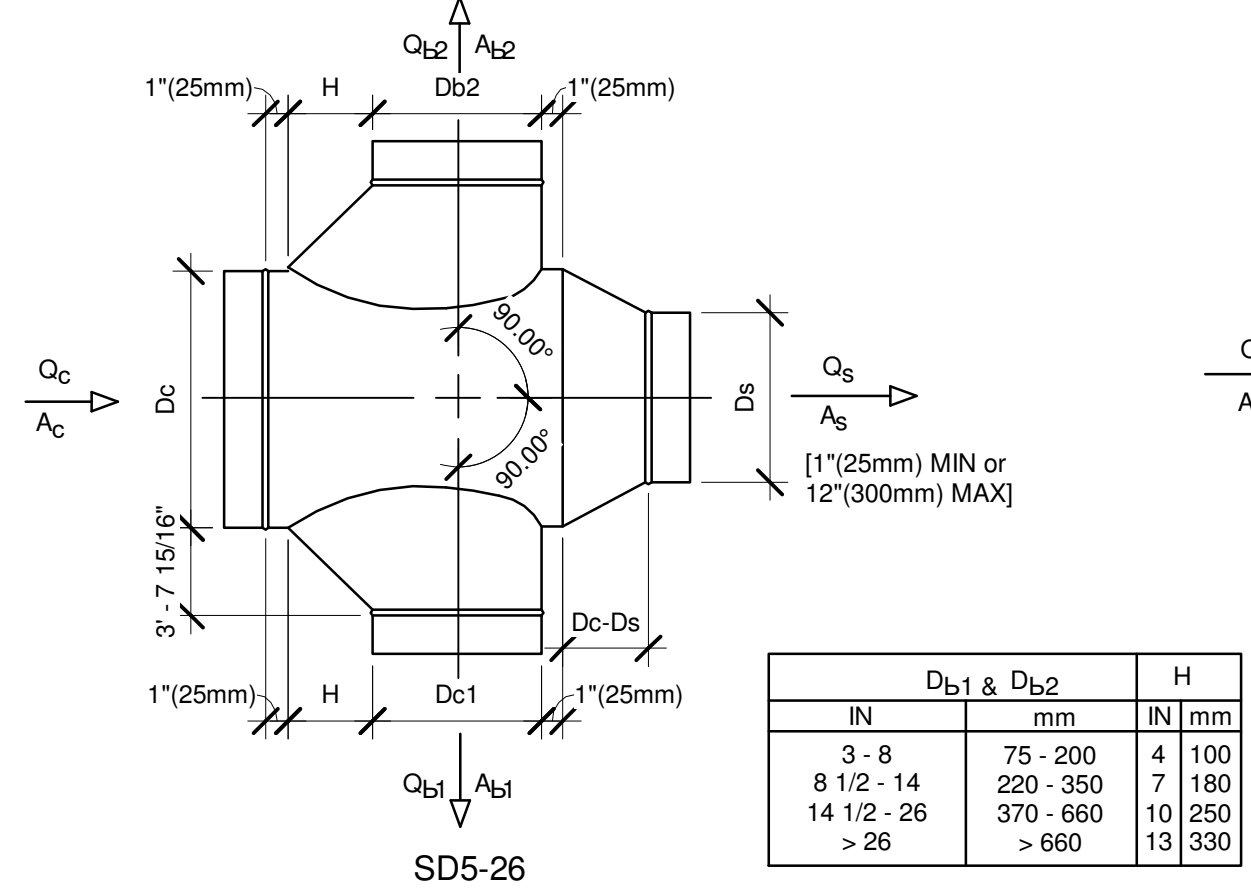
**D1** RECTANGULAR DUCT HANGER DETAIL  
NTS



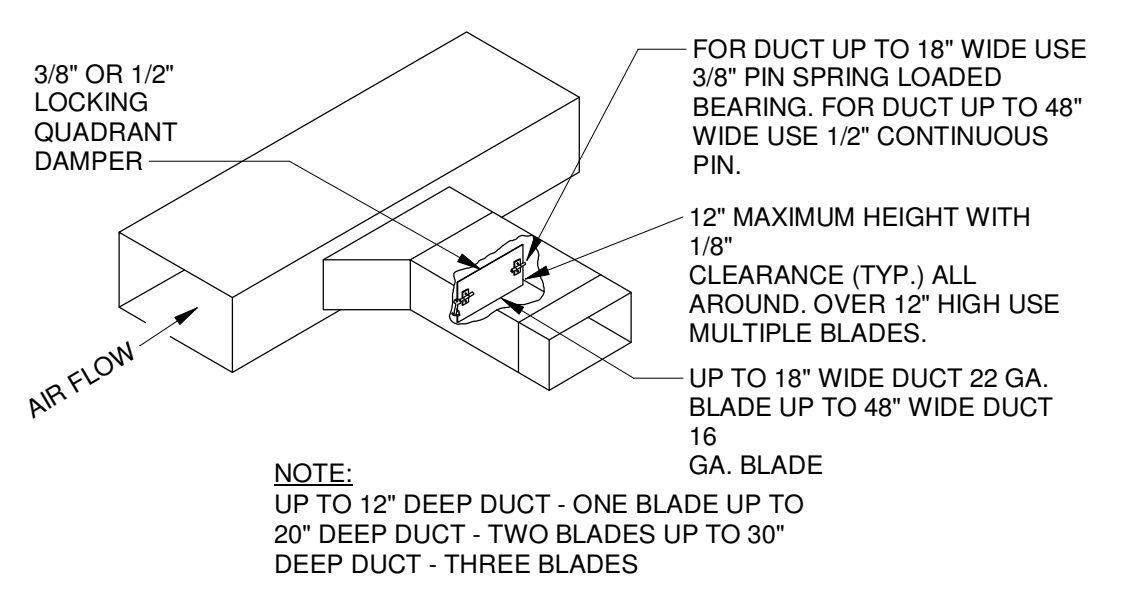
**D4** RECT ELBOW AND TEE DETAILS  
NTS



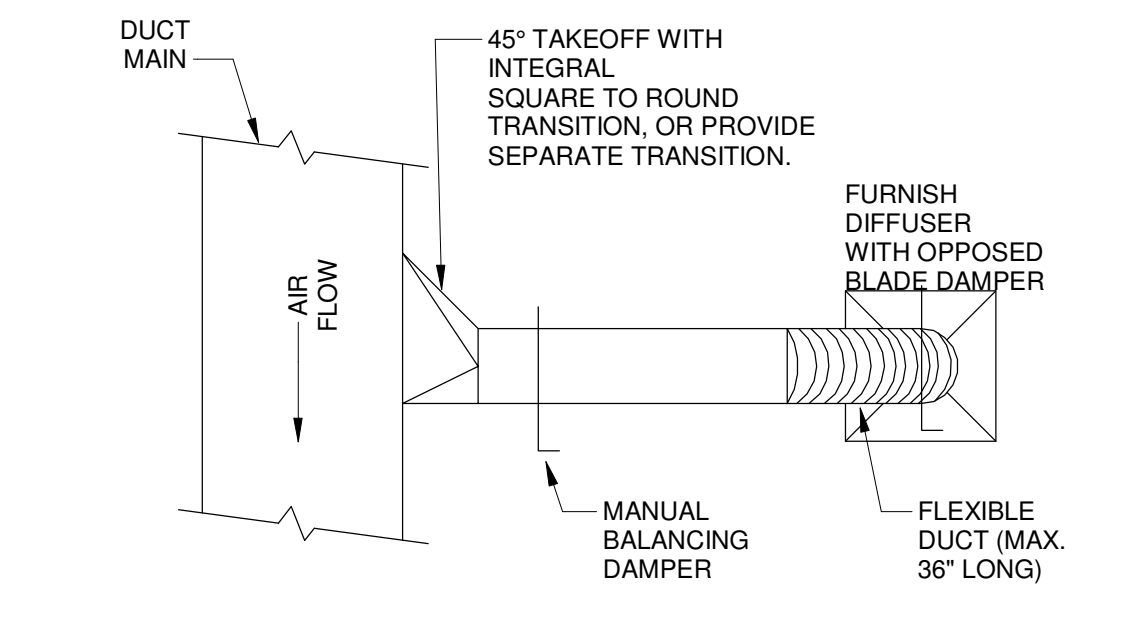
**D6** ROUND JUNCTION FITTINGS DETAILS  
NTS



**A1** DUCT ACCESS DOOR DETAIL  
NTS



**A4** RECTANGULAR TAKE-OFF  
NTS



**A5** ROUND TAKE-OFF  
NTS

1 2 3 4 5 6 7 8 9 10 11 12

K  
J  
H  
G  
F  
E  
D  
C  
B  
A

ROOFTOP UNIT SCHEDULE (GAS/DX COOLING)																		
MARK	NO.	MANUFACTURER/ MODEL NO.	TYPE	SUPPLY FAN				COOLING CAPACITY				HEATING (MBH)		ELECTRICAL			REMARKS	
				CFM	FRESH AIR (CFM)	ESP (IN.)	HP	EAT (PF) DB WB	TOTAL MBH	SENS MBH	INPUT	OUTPUT	VOLT	PHASE	MCA	MOC		
RTU	1	TRANE/YHD300G4	VERTICAL DISCHARGE	10000	900	-	-	95	61	274	-	400	320	460	3	54	70	-
RTU	2	TRANE/YHD300G4	VERTICAL DISCHARGE	10000	900	-	-	95	61	274	-	400	320	460	3	54	70	-
RTU	3	TRANE/YHD300G4	VERTICAL DISCHARGE	10000	900	-	-	95	61	274	-	400	320	460	3	54	70	-
RTU	4	TRANE/YHD300G4	VERTICAL DISCHARGE	10000	900	-	-	95	61	274	-	400	320	460	3	54	70	-
RTU	5	TRANE/YHD300G4	VERTICAL DISCHARGE	10000	900	-	-	95	61	274	-	400	320	460	3	54	70	-
RTU	6	TRANE/YHD300G4	VERTICAL DISCHARGE	10000	900	-	-	95	61	274	-	400	320	460	3	54	70	-
RTU	7	TRANE/YHD300G4	VERTICAL DISCHARGE	10000	900	-	-	95	61	274	-	400	320	460	3	54	70	-
RTU	8	TRANE/YHD300G4	VERTICAL DISCHARGE	10000	900	-	-	95	61	274	-	400	320	460	3	54	70	-

**WILSON & COMPANY**  
 4401 MASTHEAD STREET, SUITE 150  
 ALBUQUERQUE, NM 87109  
 PHONE: (505) 348-4000

CONSULTANTS

SEAL

PROJECT NAME:

PREWITT SPEC BUILDING

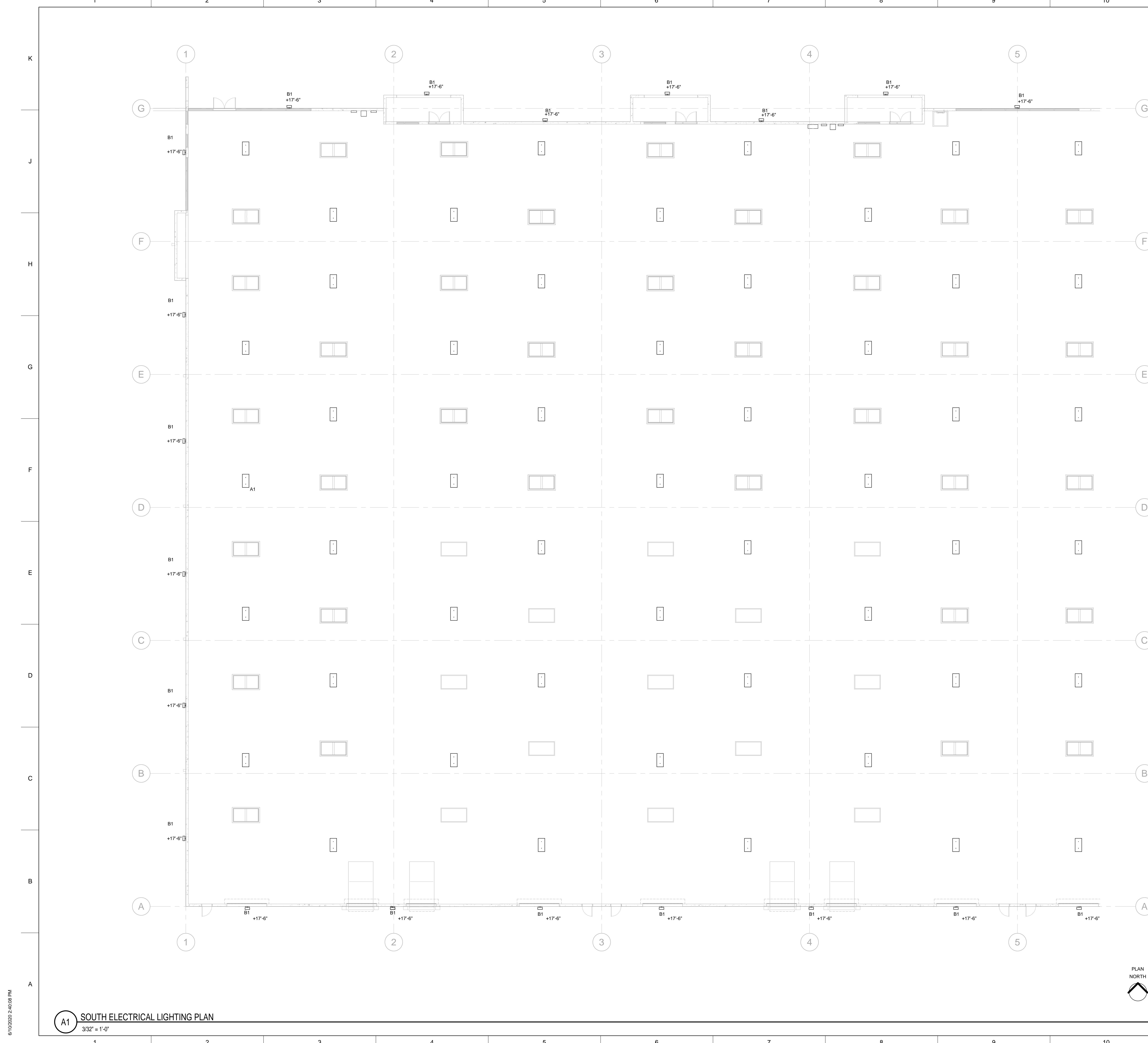
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 Project Number  
 DRAWN BY Author  
 CHECKED BY Checker  
 SHEET TITLE  
**MECHANICAL SCHEDULES**

**M-601**  
 SHEET OF

1 2 3 4 5 6 7 8 9 10 11 12





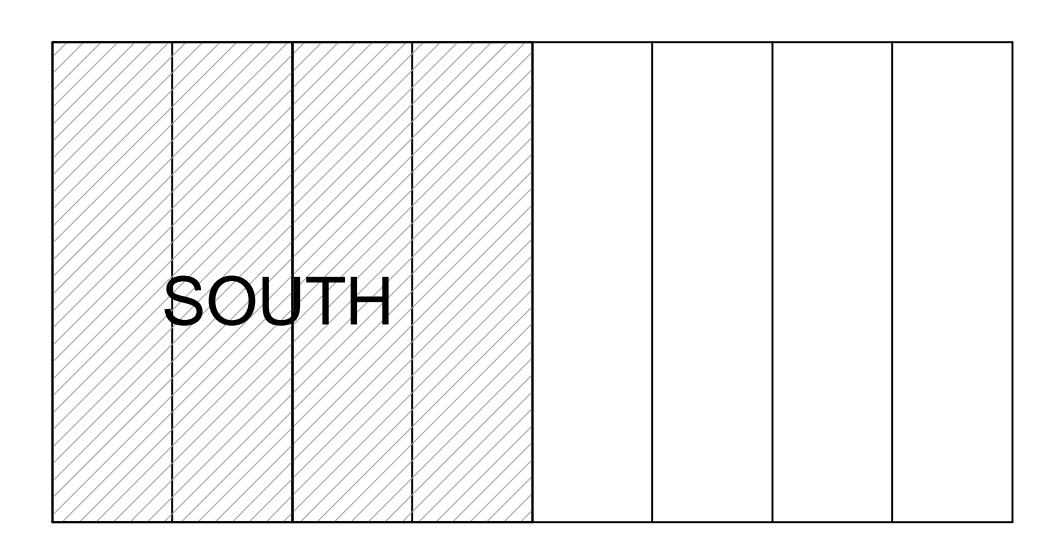
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A. GENERAL NOTES.

**SHEET KEYNOTES**

1. KEYED NOTES.

**KEY PLAN**



**WILSON & COMPANY**  
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 ALBUQUERQUE, NM 87110  
 PHONE: (505) 348-4000

CONSULTANTS

SEAL

PROJECT NAME:  
**PREWITT SPEC BUILDING**

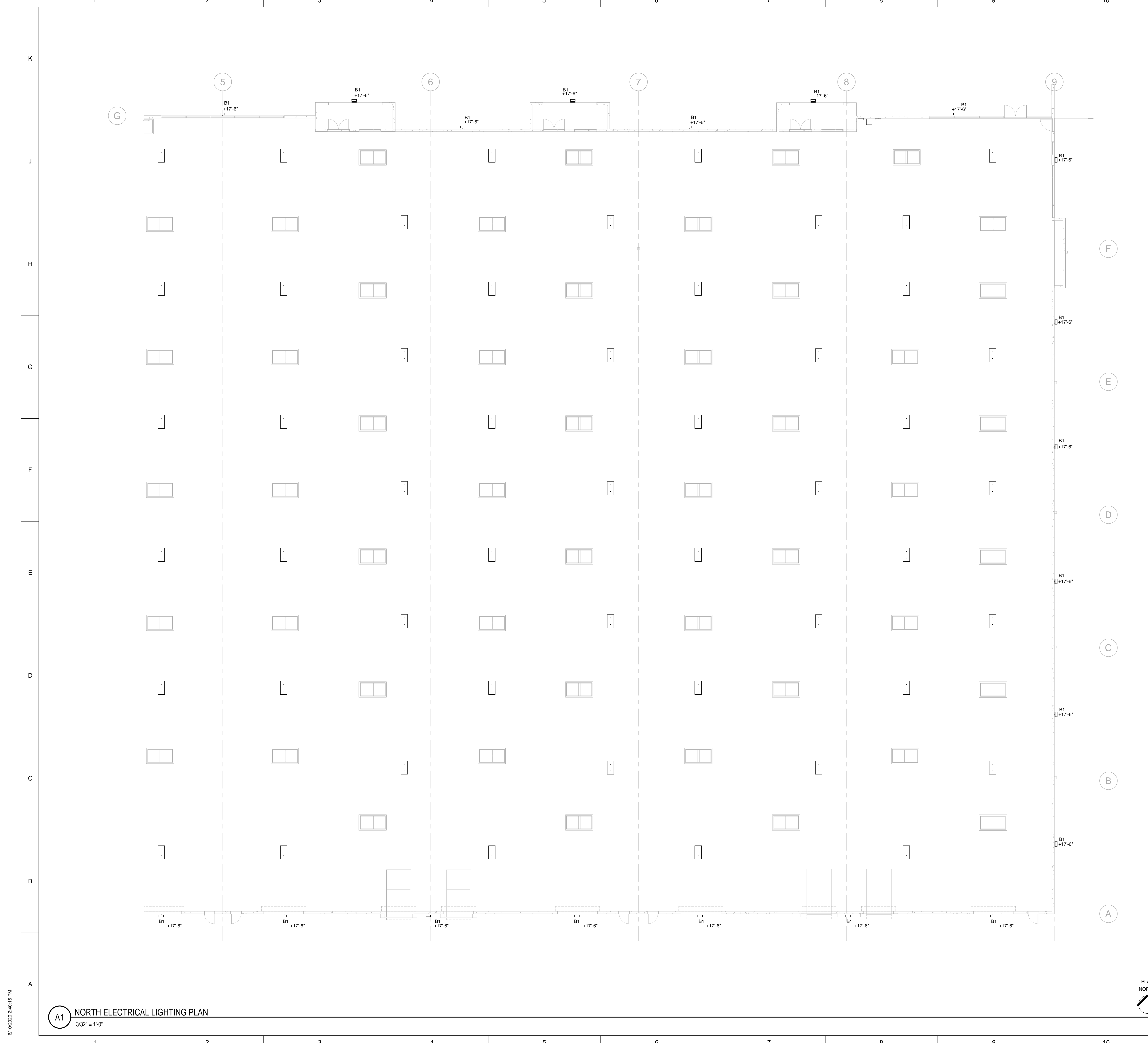
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PROJECT NO:  
 Project Number  
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 CHECKED BY: Checker  
 SHEET TITLE  
**ELECTRICAL LIGHTING PLAN - SOUTH**

**E-101**  
 SHEET \_\_\_ OF \_\_\_

6/10/2020 2:40:08 PM

**A1 SOUTH ELECTRICAL LIGHTING PLAN**  
 3/32" = 1'-0"



**GENERAL SHEET NOTES**

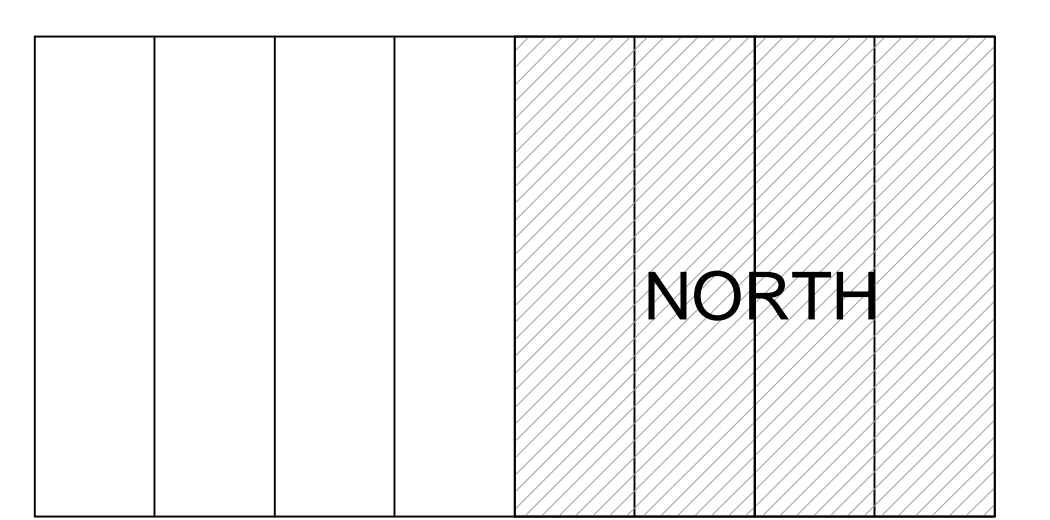
A. GENERAL NOTES.

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 ALBUQUERQUE, NM 87110  
 PHONE: (505) 348-4000

**SHEET KEYNOTES**

1. KEYED NOTES.

**KEY PLAN**



PROJECT NO: \_\_\_\_\_  
 Project Number  
 DRAWN BY: Author  
 CHECKED BY: Checker  
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**ELECTRICAL LIGHTING PLAN - NORTH**  
**E-102**  
 SHEET \_\_\_ OF \_\_\_

CONSULTANTS

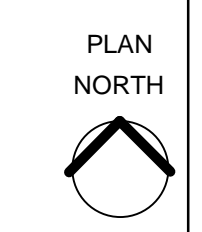
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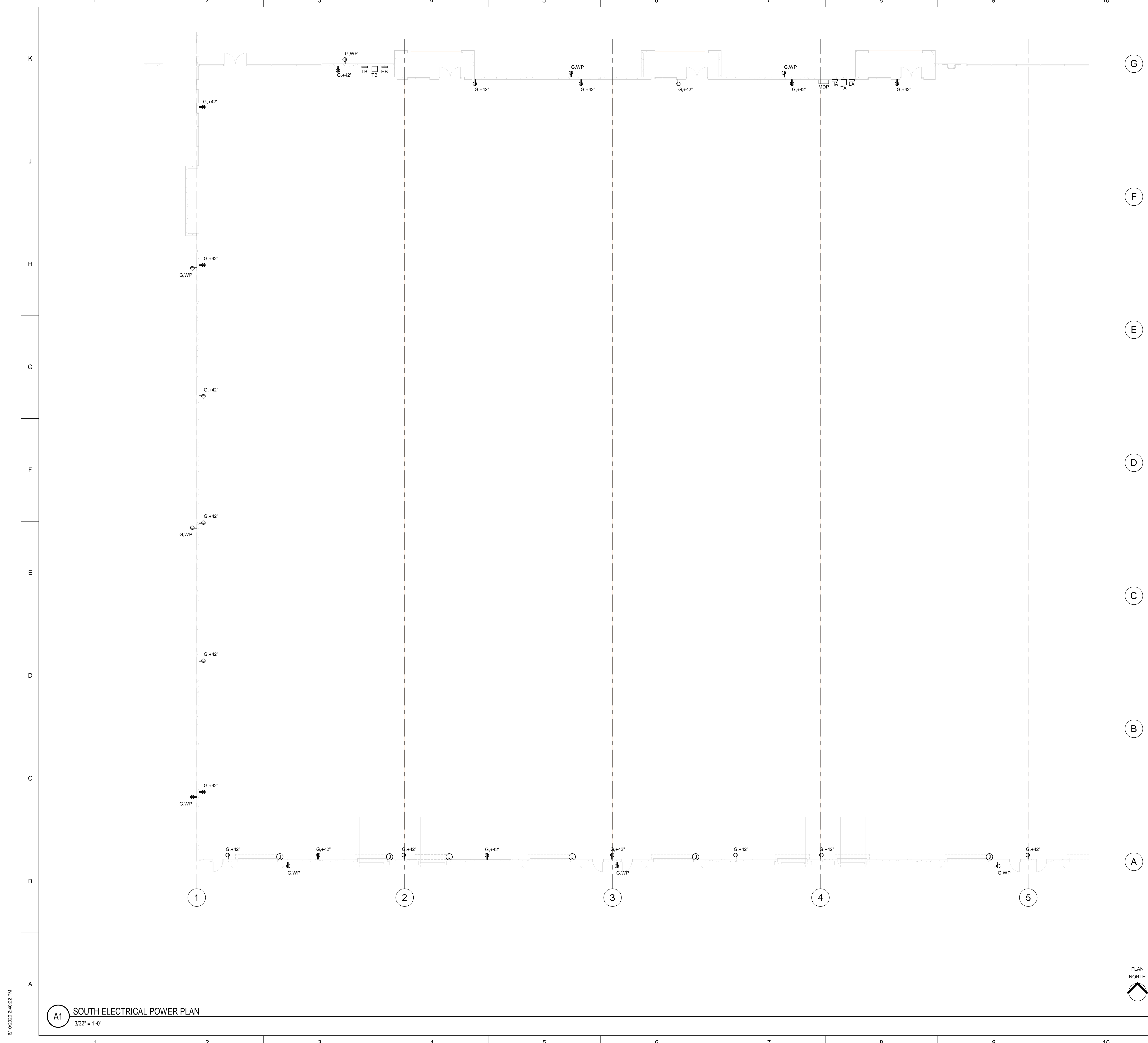
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**PREMITT SPEC BUILDING**

MARK	DATE	DESCRIPTION

6/10/2020 2:40:16 PM

**A1** NORTH ELECTRICAL LIGHTING PLAN  
 3/32" = 1'-0"





**GENERAL SHEET NOTES**

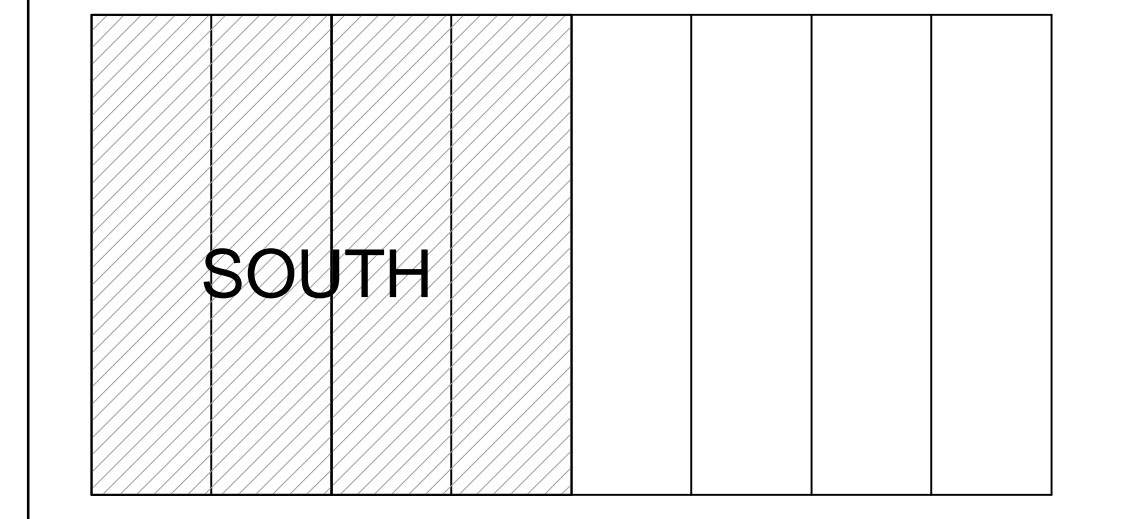
A. GENERAL NOTES.

**WILSON & COMPANY**  
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 ALBUQUERQUE, NM 87110  
 PHONE: (505) 348-4000

**SHEET KEYNOTES**

1. KEYED NOTES.

**KEY PLAN**



CONSULTANTS

SEAL

PROJECT NAME:

**PREWITT SPEC BUILDING**

MARK	DATE	DESCRIPTION

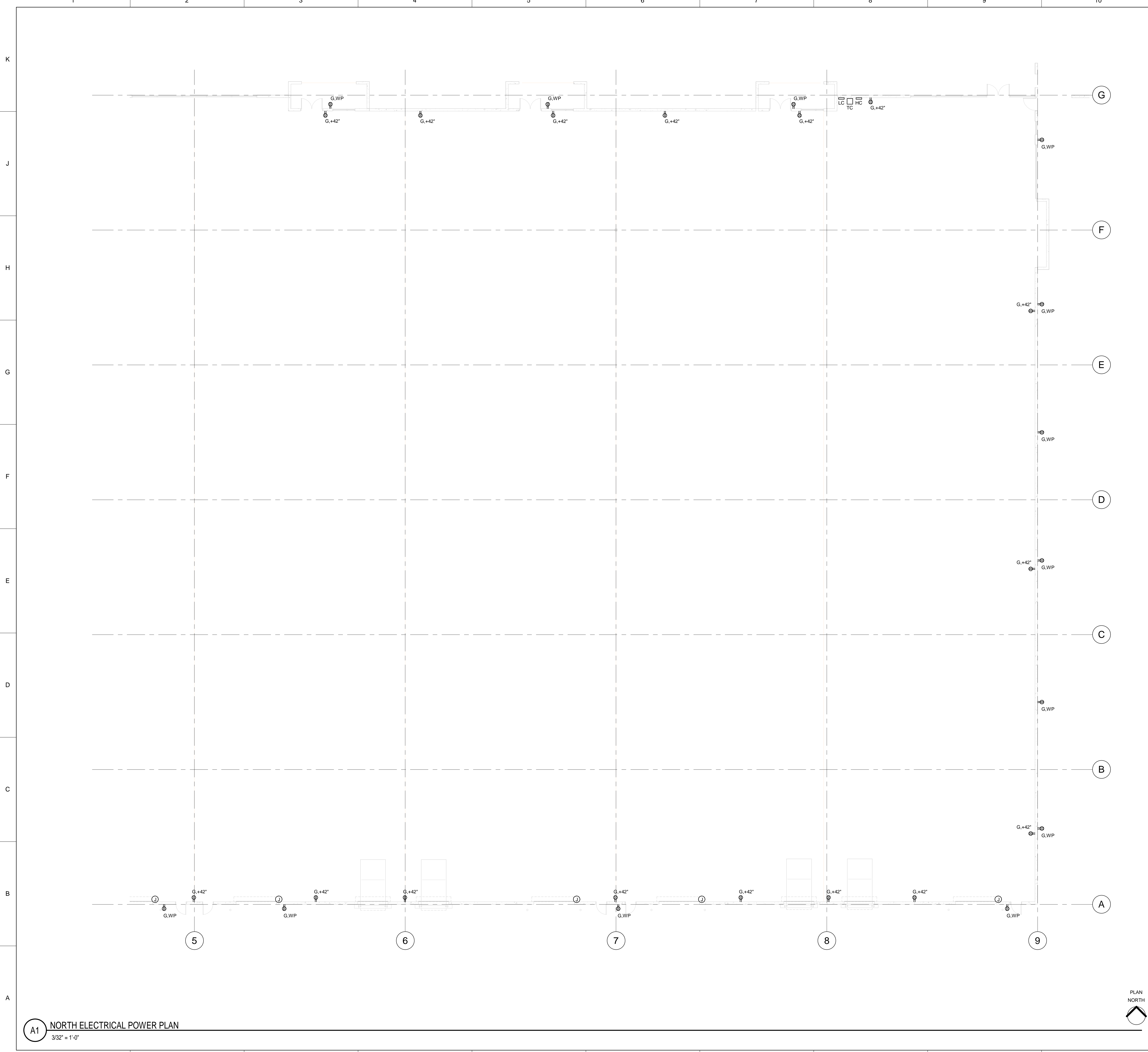
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Project Number  
 DRAWN BY: Author  
 CHECKED BY: Checker  
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**ELECTRICAL  
 POWER PLAN -  
 SOUTH**

**E-103**  
 SHEET \_\_\_ OF \_\_\_

6/10/2020 2:40:22 PM

**A1 SOUTH ELECTRICAL POWER PLAN**  
 3/32" = 1'-0"





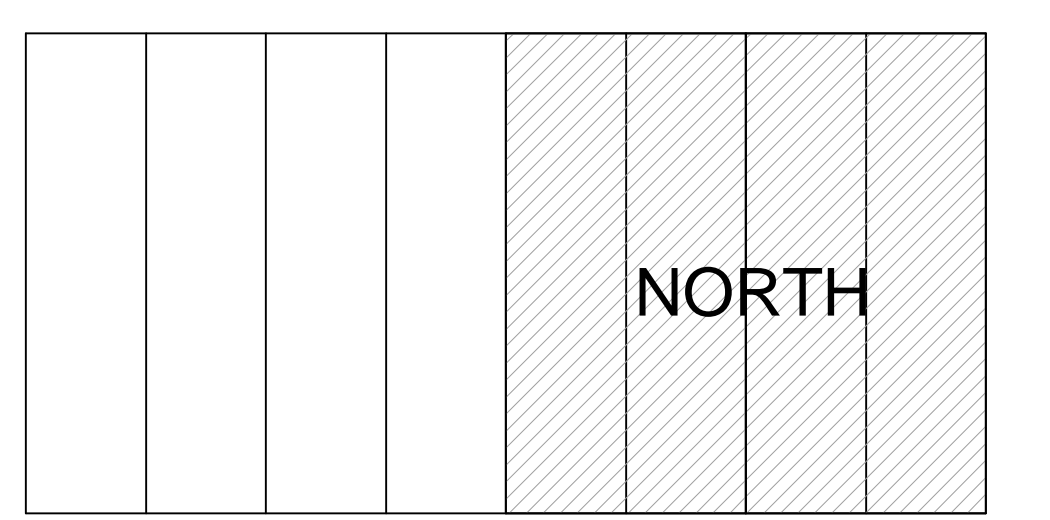
GENERAL SHEET NOTES

A. GENERAL NOTES.

SHEET KEYNOTES

1. KEYED NOTES.

KEY PLAN



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CONSULTANTS

SEAL

PROJECT NAME:  
**PREWITT SPEC BUILDING**

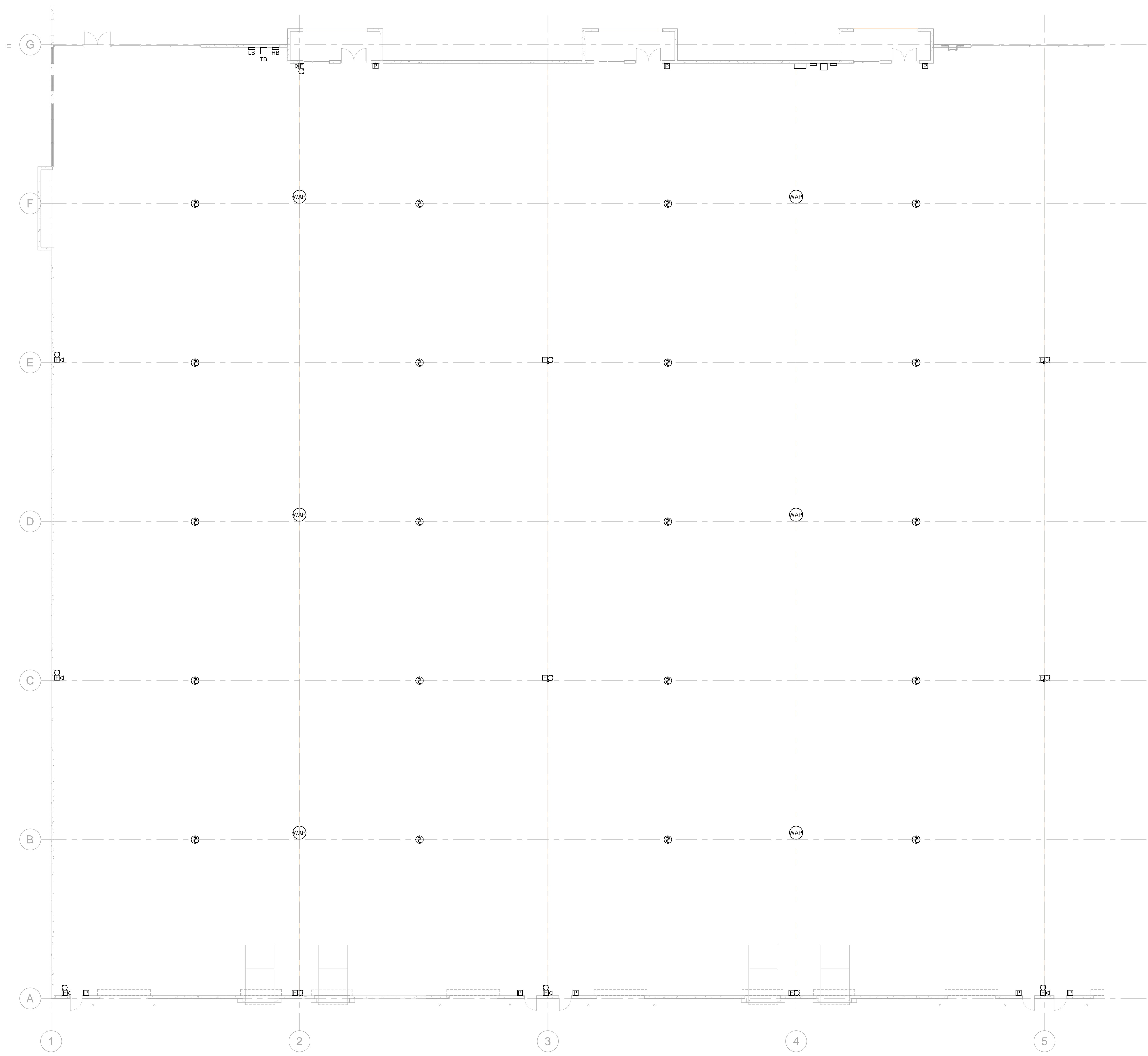
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 Project Number  
 DRAWN BY: Author  
 CHECKED BY: Checker  
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**ELECTRICAL  
 POWER PLAN -  
 NORTH**  
**E-104**  
 SHEET \_\_\_ OF \_\_\_

6/10/2020 2:42:28 PM

**A1** NORTH ELECTRICAL POWER PLAN  
 3/32" = 1'-0"





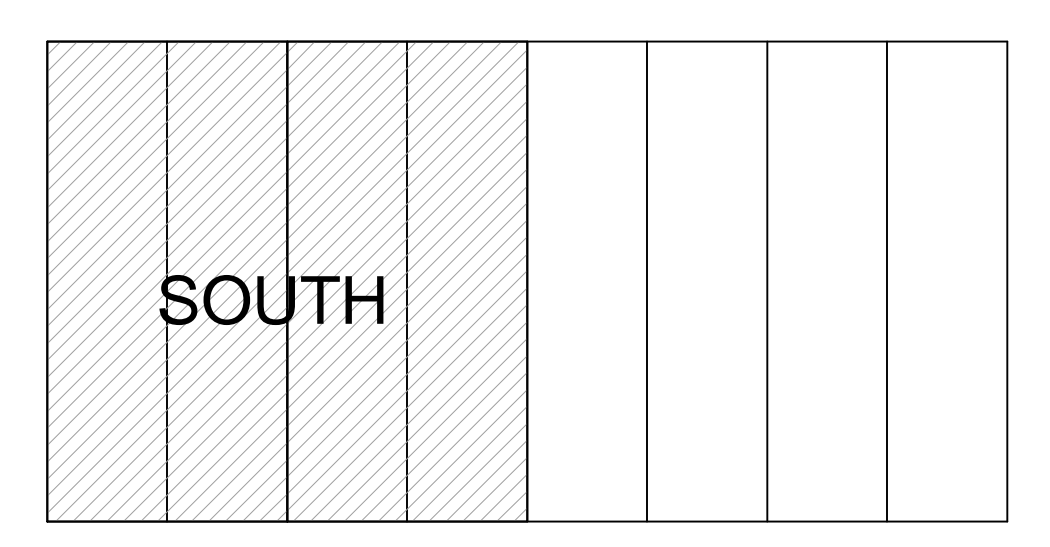
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A. GENERAL NOTES.

**SHEET KEYNOTES**

1. KEYED NOTES.

**KEY PLAN**



**WILSON & COMPANY**  
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 ALBUQUERQUE, NM 87110  
 PHONE: (505) 348-4000

CONSULTANTS

SEAL

PROJECT NAME:  
**PREWITT SPEC BUILDING**

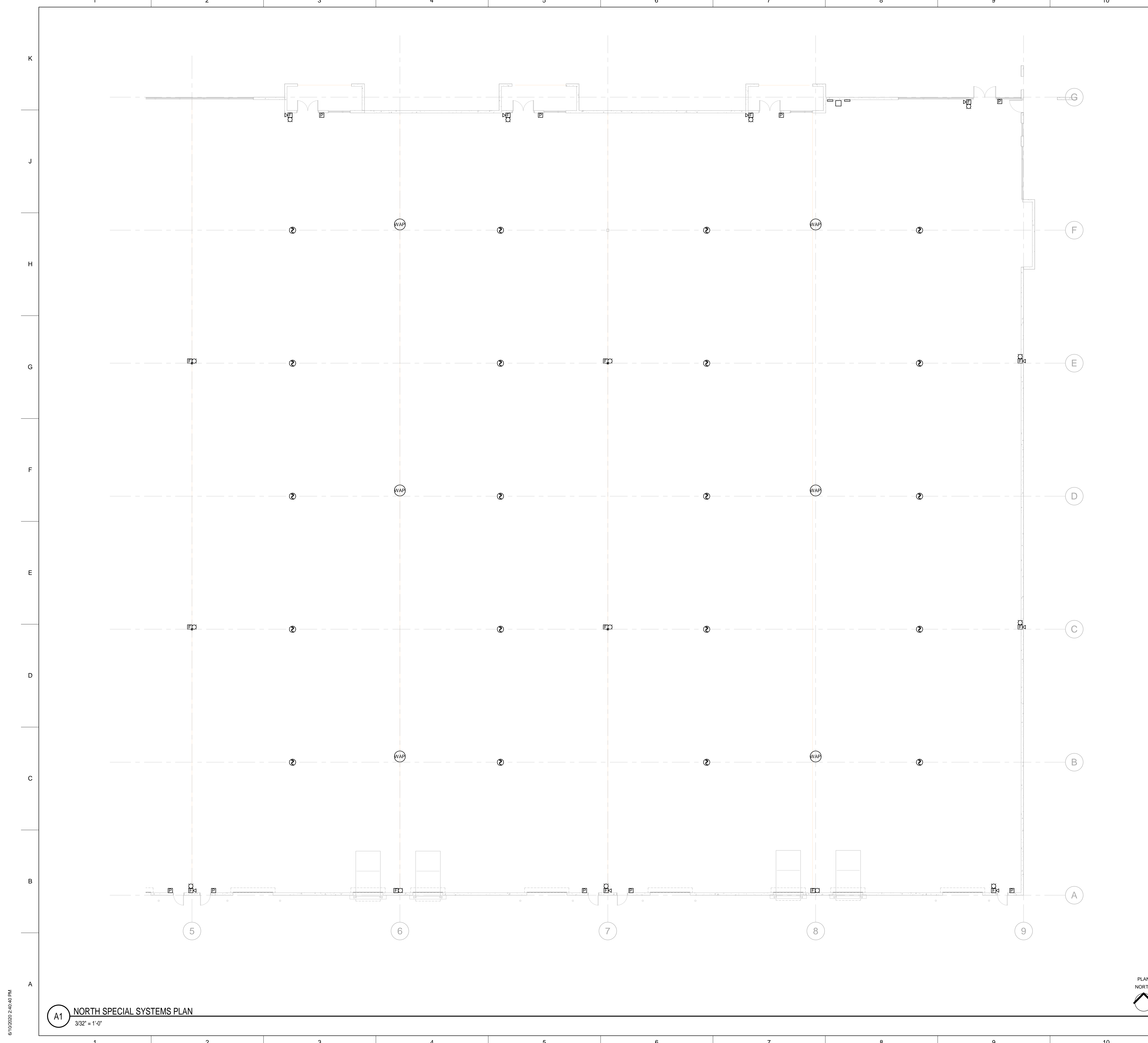
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PROJECT NO:  
 Project Number  
 DRAWN BY: Author  
 CHECKED BY: Checker  
 SHEET TITLE  
**ELECTRICAL  
 SPECIAL  
 SYSTEMS  
 PLAN - SOUTH**

**E-105**  
 SHEET OF

**A1 SOUTH SPECIAL SYSTEMS PLAN**  
 3/32" = 1'-0"

6/10/2020 2:40:34 PM



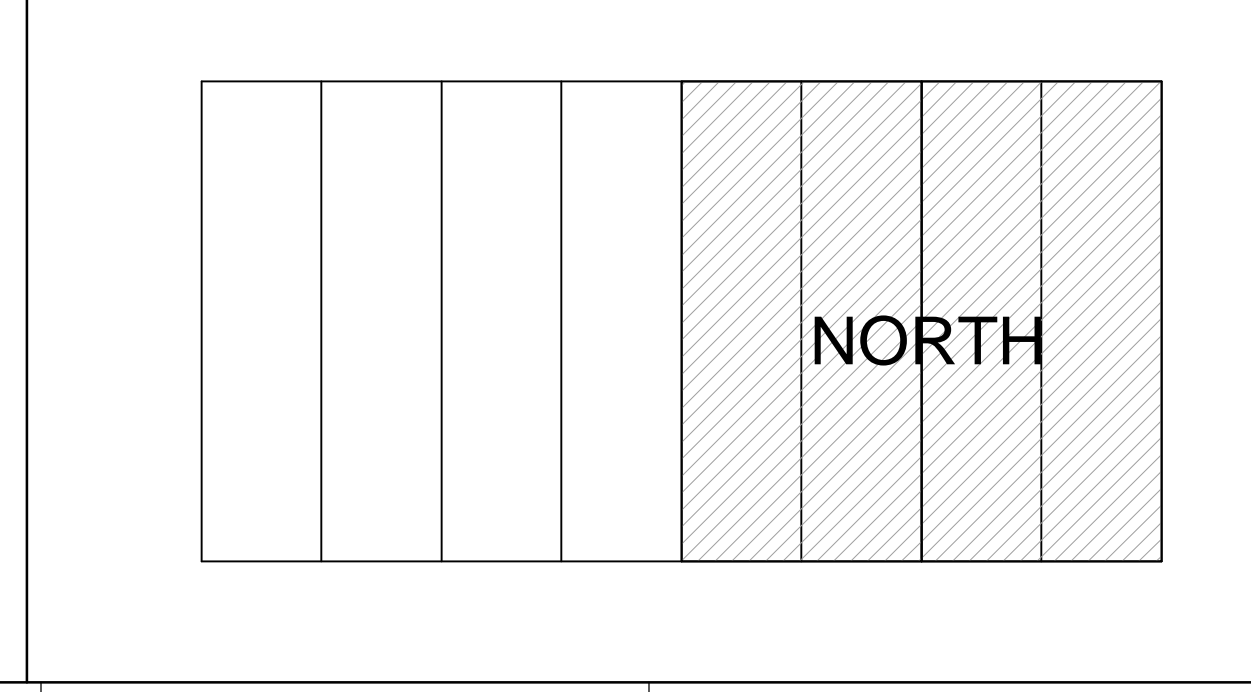
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A. GENERAL NOTES.

**SHEET KEYNOTES**

1. KEYED NOTES.

**KEY PLAN**



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CONSULTANTS

SEAL

PROJECT NAME:  
**PREWITT SPEC BUILDING**

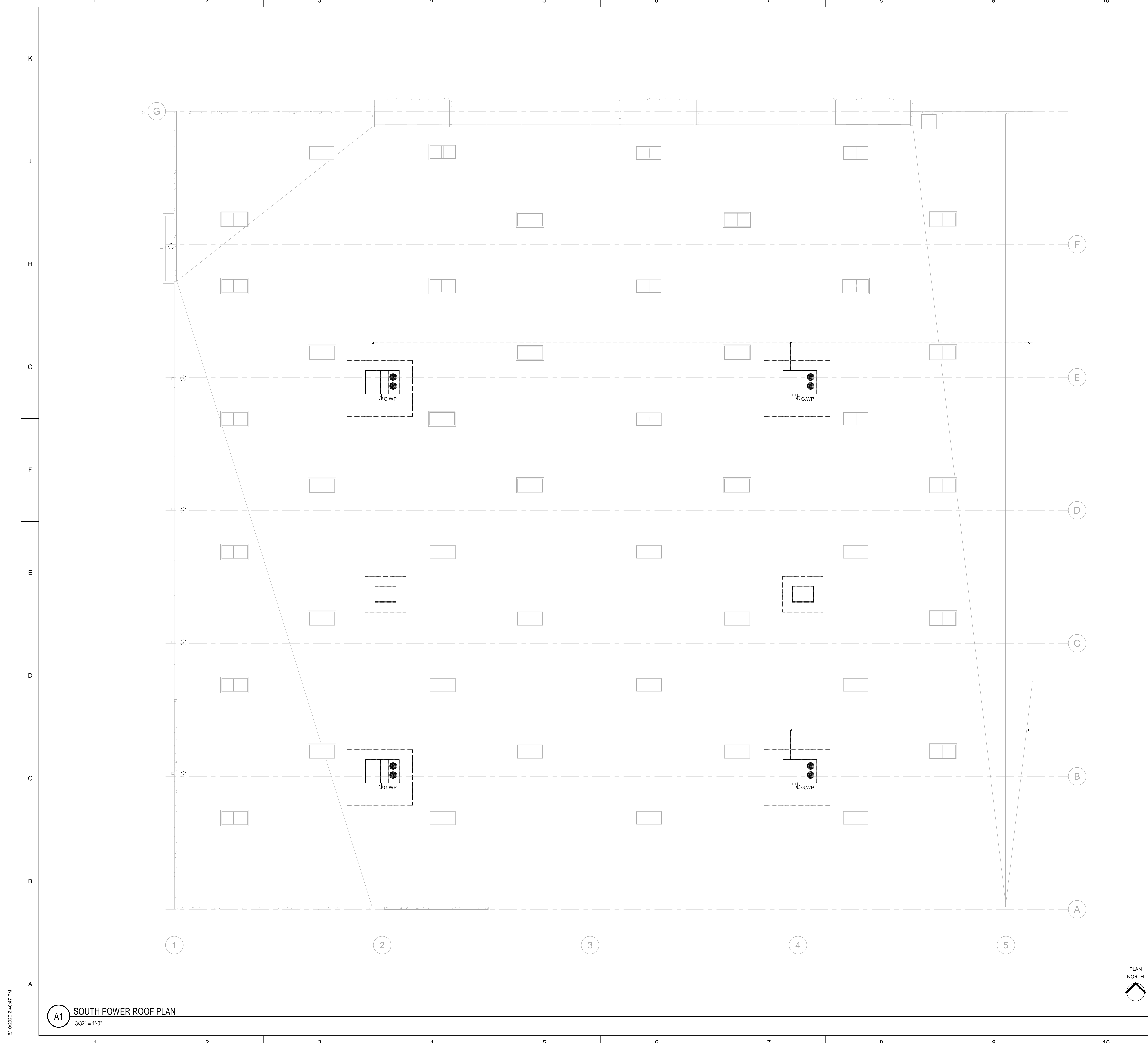
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 Project Number  
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 CHECKED BY: Checker  
 SHEET TITLE  
**ELECTRICAL  
 SPECIAL  
 SYSTEM -  
 NORTH**  
**E-106**  
 SHEET \_\_\_ OF \_\_\_

6/10/2020 2:40:40 PM

**A1 NORTH SPECIAL SYSTEMS PLAN**  
 3/32" = 1'-0"





6/10/2020 2:40:47 PM

**A1 SOUTH POWER ROOF PLAN**  
3/32" = 1'-0"



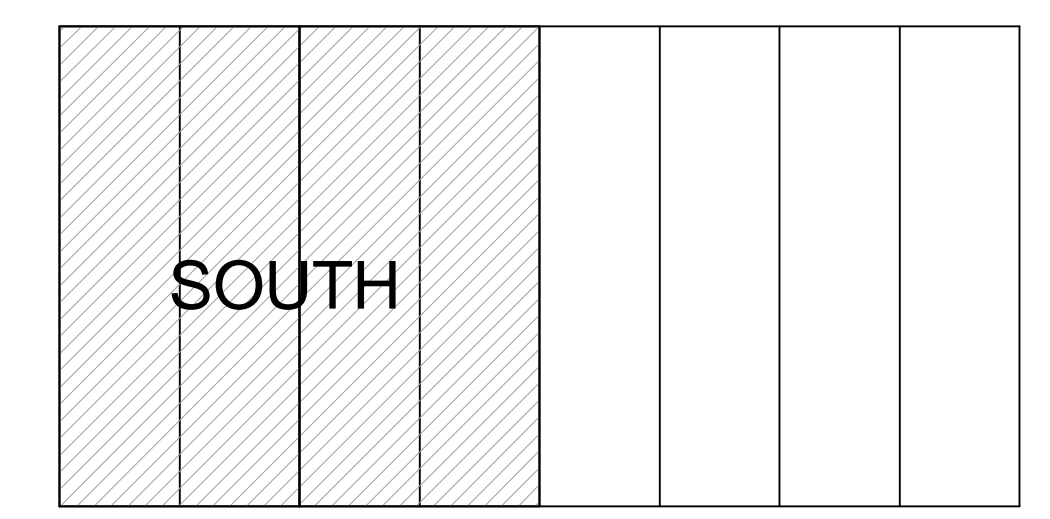
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A. GENERAL NOTES.

**SHEET KEYNOTES**

1. KEYED NOTES.

**KEY PLAN**



**WILSON & COMPANY**  
4401 MASTHEAD STREET, NE, SUITE 150  
ALBUQUERQUE, NM 87110  
PHONE: (505) 348-4000

CONSULTANTS

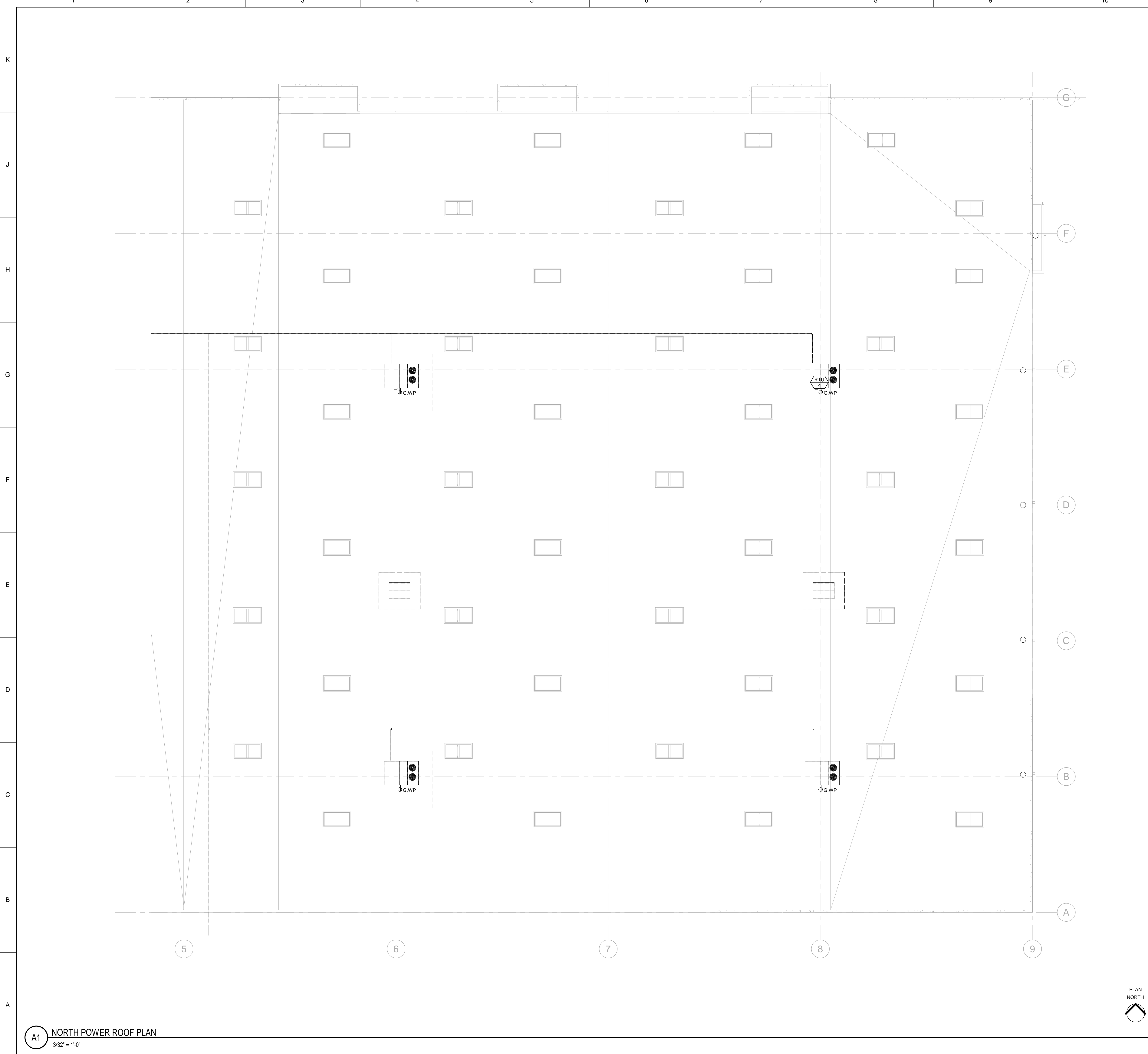
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**PREWITT SPEC BUILDING**

MARK	DATE	DESCRIPTION

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Project Number  
DRAWN BY: Author  
CHECKED BY: Checker  
SHEET TITLE  
**ELECTRICAL  
ROOF PLAN -  
SOUTH**

**E-107**  
SHEET \_\_\_ OF \_\_\_



GENERAL SHEET NOTES

A. GENERAL NOTES.

**WILSON & COMPANY**  
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 ALBUQUERQUE, NM 87110  
 PHONE: (505) 348-4000

SHEET KEYNOTES

1. KEYED NOTES.

CONSULTANTS

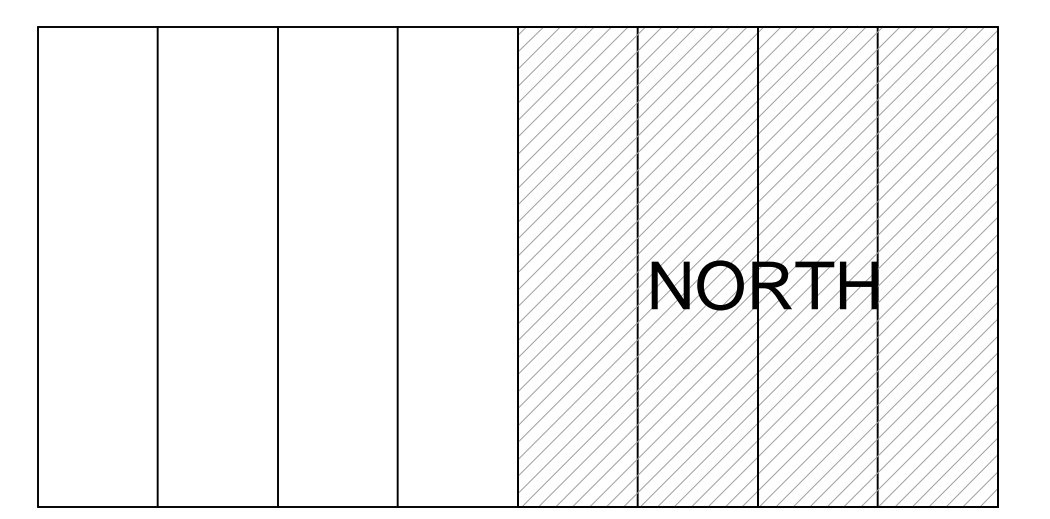
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PREWITT SPEC BUILDING

MARK	DATE	DESCRIPTION

KEY PLAN



PROJECT NO:  
 Project Number  
 DRAWN BY: Author  
 CHECKED BY: Checker  
 SHEET TITLE  
 ELECTRICAL  
 ROOF PLAN -  
 NORTH

**E-108**  
 SHEET OF

**A1** NORTH POWER ROOF PLAN  
 3/32" = 1'-0"

6/10/2020 2:40:53 PM



1 2 3 4 5 6 7 8 9 10 11 12

K  
J  
H  
G  
F  
E  
D  
C  
B  
A

CONSULTANTS

SEAL

PROJECT NAME:

**PREWITT SPEC BUILDING**

MARK	DATE	DESCRIPTION

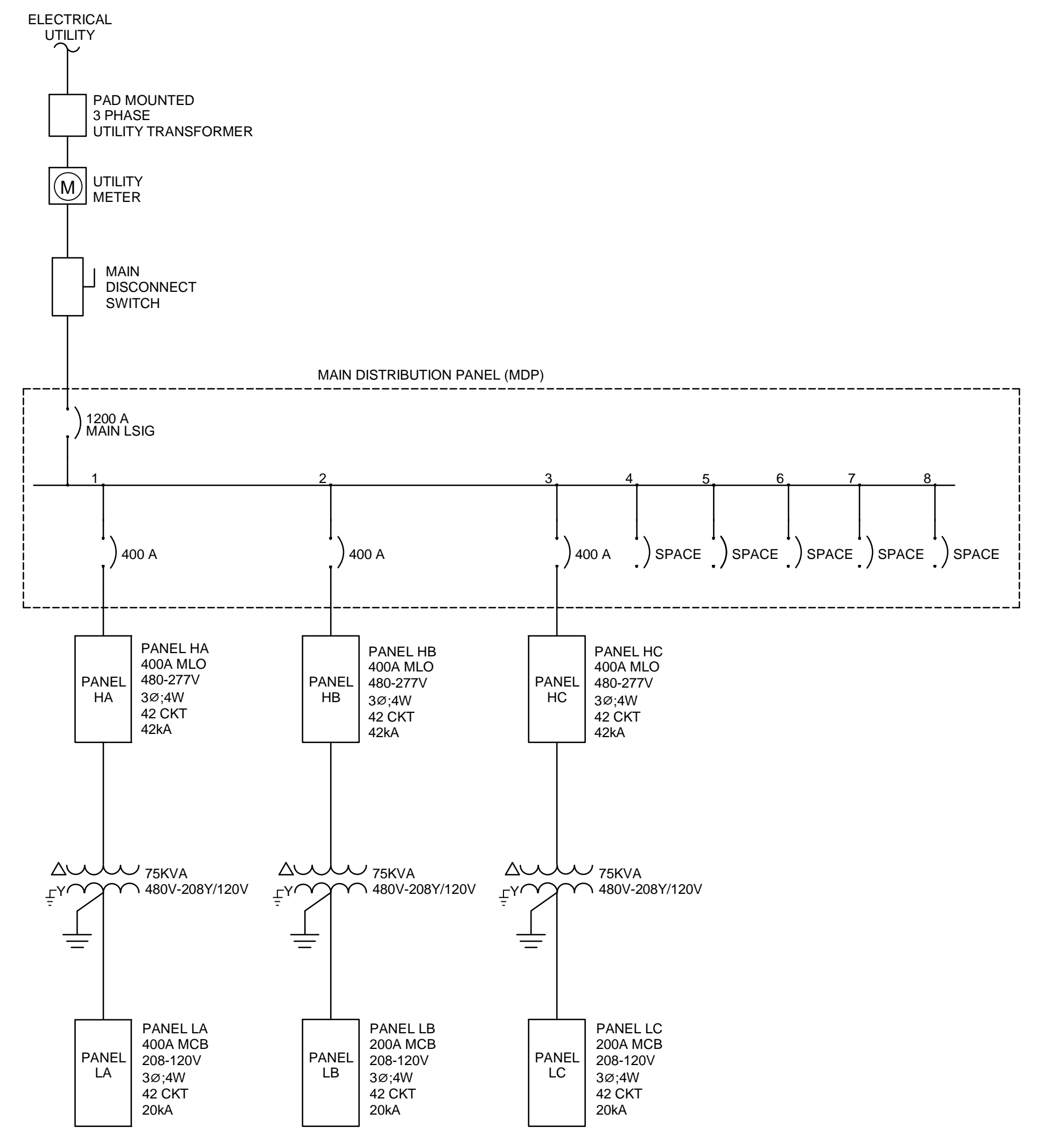
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Project Number

DRAWN BY: Author

CHECKED BY: Checker

SHEET TITLE  
**ELECTRICAL DIAGRAMS AND SCHEDULES**

**E-601**  
SHEET OF



**9A** ELECTRICAL ONE-LINE DIAGRAM  
3/32" = 1'-0"

8/10/2020 2:40:59 PM

1 2 3 4 5 6 7 8 9 10 11 12

**Branch Panel: LB**

Location: WAREHOUSE SUITE 101 120  
Supply From: TB  
Mounting: SURFACE  
Enclosure: NEMA 1

Volts: 120/208 Wye  
Phases: 3  
Wires: 4

A.I.C. Rating:  
Mains Type:  
Mains Rating: 200 A  
MCB Rating: 225 A

Notes:

Table with columns: CKT, Circuit Description, Trip, Poles, A, B, C, Poles, Trip, Circuit Description, CKT. Rows 1-42.

Total Load: 0 VA 0 VA 0 VA  
Total Amps: 0 A 0 A 0 A

Legend:

Table with columns: Load Classification, Connected Load, Demand Factor, Estimated Demand, Panel Totals.

Notes:

**Branch Panel: HC**

Location: WAREHOUSE SUITE 108 108  
Supply From: MDP  
Mounting: SURFACE  
Enclosure: NEMA 1

Volts: 480/277 Wye  
Phases: 3  
Wires: 4

A.I.C. Rating:  
Mains Type:  
Mains Rating: 400 A  
MCB Rating:

Notes:

Table with columns: CKT, Circuit Description, Trip, Poles, A, B, C, Poles, Trip, Circuit Description, CKT. Rows 1-42.

Total Load: 0 VA 0 VA 0 VA  
Total Amps: 0 A 0 A 0 A

Legend:

Table with columns: Load Classification, Connected Load, Demand Factor, Estimated Demand, Panel Totals.

Notes:

**Switchboard: MDP**

Location: WAREHOUSE SUITE 104 117  
Supply From:  
Mounting: SURFACE  
Enclosure: NEMA 1

Volts: 480/277 Wye  
Phases: 3  
Wires: 4

A.I.C. Rating:  
Mains Type:  
Mains Rating: 1200 A  
MCB Rating:

Notes:

Table with columns: CKT, Circuit Description, # of Poles, Frame Size, Trip Rating, Load, Remarks. Rows 1-9.

Total Conn. Load: 0 VA  
Total Amps: 0 A

Legend:

Table with columns: Load Classification, Connected Load, Demand Factor, Estimated Demand, Panel Totals.

Notes:

**Branch Panel: HA**

Location:  
Supply From: MDP  
Mounting: SURFACE  
Enclosure: NEMA 1

Volts: 480/277 Wye  
Phases: 3  
Wires: 4

A.I.C. Rating:  
Mains Type:  
Mains Rating: 400 A  
MCB Rating:

Notes:

Table with columns: CKT, Circuit Description, Trip, Poles, A, B, C, Poles, Trip, Circuit Description, CKT. Rows 1-42.

Total Load: 0 VA 0 VA 0 VA  
Total Amps: 0 A 0 A 0 A

Legend:

Table with columns: Load Classification, Connected Load, Demand Factor, Estimated Demand, Panel Totals.

Notes:

**Branch Panel: HB**

Location:  
Supply From: MDP  
Mounting: SURFACE  
Enclosure: NEMA 1

Volts: 480/277 Wye  
Phases: 3  
Wires: 4

A.I.C. Rating:  
Mains Type:  
Mains Rating: 200 A  
MCB Rating:

Notes:

Table with columns: CKT, Circuit Description, Trip, Poles, A, B, C, Poles, Trip, Circuit Description, CKT. Rows 1-42.

Total Load: 0 VA 0 VA 0 VA  
Total Amps: 0 A 0 A 0 A

Legend:

Table with columns: Load Classification, Connected Load, Demand Factor, Estimated Demand, Panel Totals.

Notes:

**Branch Panel: LC**

Location: WAREHOUSE SUITE 108 108  
Supply From: TC  
Mounting: Surface  
Enclosure: NEMA 1

Volts: None  
Phases: Not Computed  
Wires: Not Computed

A.I.C. Rating:  
Mains Type:  
Mains Rating: 200 A  
MCB Rating: 225 A

Notes:

Table with columns: CKT, Circuit Description, Trip, Poles, A, B, C, Poles, Trip, Circuit Description, CKT. Rows 1-42.

Total Load: 0 VA 0 VA 0 VA  
Total Amps:

Legend:

Table with columns: Load Classification, Connected Load, Demand Factor, Estimated Demand, Panel Totals.

Notes:

**Branch Panel: LA**

Location: WAREHOUSE SUITE 104 117  
Supply From: TA  
Mounting: Surface  
Enclosure: NEMA 1

Volts: 120/208 Wye  
Phases: 3  
Wires: 4

A.I.C. Rating:  
Mains Type:  
Mains Rating: 400 A  
MCB Rating: 400 A

Notes:

Table with columns: CKT, Circuit Description, Trip, Poles, A, B, C, Poles, Trip, Circuit Description, CKT. Rows 1-42.

Total Load: 0 VA 0 VA 0 VA  
Total Amps: 0 A 0 A 0 A

Legend:

Table with columns: Load Classification, Connected Load, Demand Factor, Estimated Demand, Panel Totals.

Notes:

WILSON & COMPANY  
4401 MASTHEAD STREET, SUITE 150  
ALBUQUERQUE, NM 87109  
PHONE: (505) 348-4000

CONSULTANTS

SEAL

PROJECT NAME:  
PREWITT SPEC BUILDING

Table with columns: MARK, DATE, DESCRIPTION.

PROJECT NO:  
Project Number  
DRAWN BY: Author  
CHECKED BY: Checker  
SHEET TITLE  
ELECTRICAL  
PANEL  
SCHEDULES

E-602  
SHEET OF

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## Appendix C – Renderings of Phase I Spec Building

**Prewitt Industrial Park**  
MASTER PLAN AND PRELIMINARY DESIGN



**WILSON & COMPANY**  
HIGHER RELATIONSHIPS

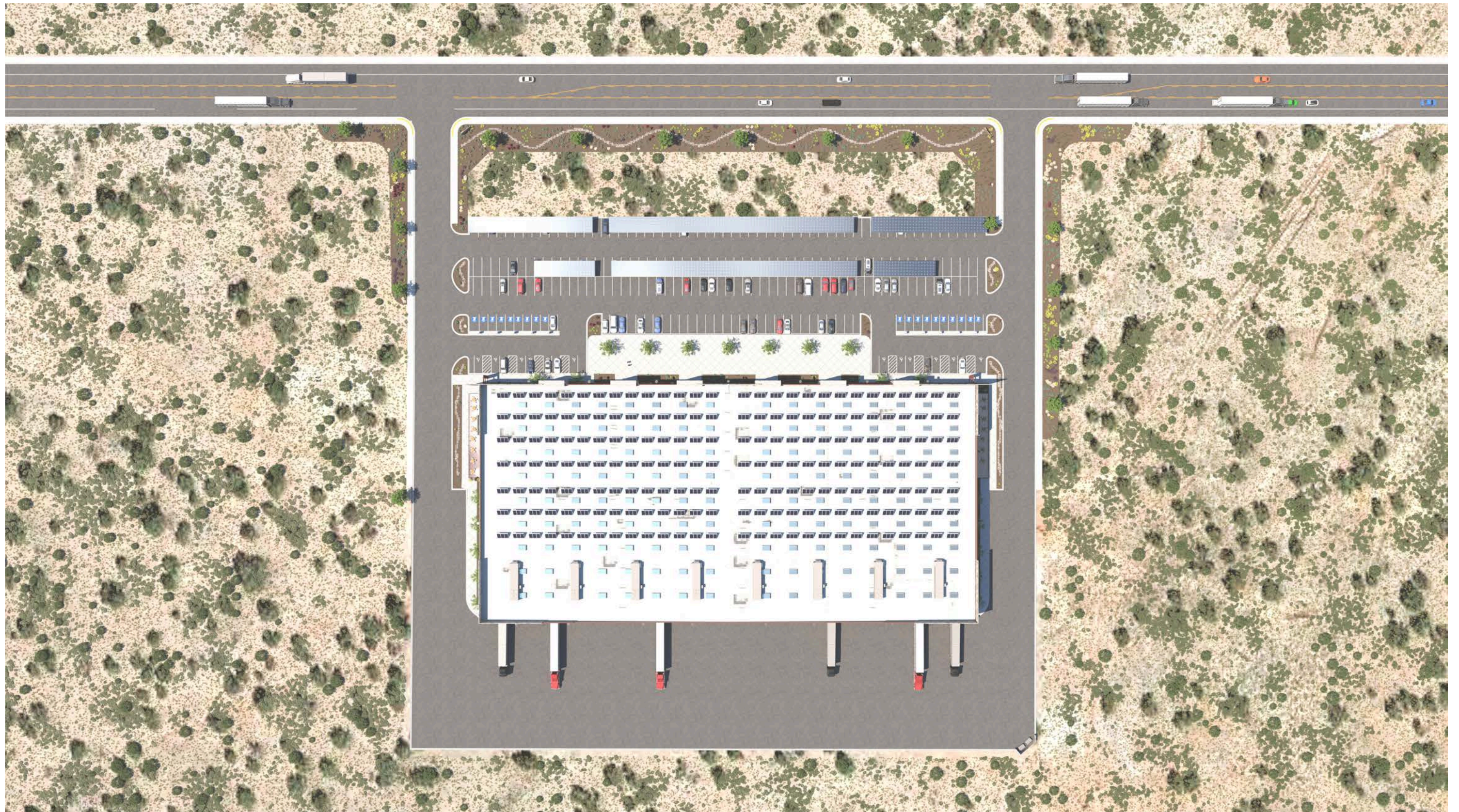
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## Appendix D – Summary of Cost Estimates and Raw Data

**Prewitt Industrial Park**  
MASTER PLAN AND PRELIMINARY DESIGN



**WILSON & COMPANY**  
HIGHER RELATIONSHIPS

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## Contents

<b>SUMMARY</b> .....	<b>2</b>
<b>1 SPEC BUILDING &amp; INFRASTRUCTURE (PHASE I)</b> .....	<b>3</b>
<b>2 INDUSTRIAL PARK INFRASTRUCTURE (PHASE II)</b> .....	<b>3</b>
2.1 Roadway & Drainage .....	3
2.2 Water/Wastewater .....	4
<b>3 TOTAL COSTS</b> .....	<b>5</b>

## Summary

This section details the construction estimate for the Prewitt Industrial Park. The estimates are provided for civil (roadway and rail) and for water and wastewater utilities. Other utilities would be constructed by the relevant private utility, and costs for those are not included here. Phase I refers to implementation of the Spec Building.

The total estimated cost of full build out of the industrial park (including Phase I Spec Building) is \$67,100,000. For the Phase I Spec Building, the estimated construction cost (including infrastructure) is \$31,300,000. The costs for infrastructure are summarized below in section 1.1. The following sections provide detailed estimates for infrastructure.

Construction estimates were developed based on several assumptions and knowledge of the area, geologic setting, climatic conditions, and market cost history. These factors drove construction cost development and were compared to historical bid data to establish a base Phase I Spec Building and Full Build-out estimates. Each discipline (i.e. water, wastewater, drainage, roadway, rail, etc.) prepared a detailed estimate. Detailed estimates were converted into linear feet of road to simplify the Industrial Park development construction cost estimates.

A Consumer Price Index (CPI) of 1.70 is recommended for future out year planning. The CPI is based on the past 10-year average for the south region. CPI is a measure of the average change over time in the prices paid by urban consumers for a market basket of consumer goods and services (see <https://data.bls.gov/pdq/SurveyOutputServlet>).

## 1 Spec Building & Infrastructure (Phase I)

Spec Building	Unit Price	Unit	Qty	LF Unit Cost
Spec Building	\$ 119.00	SF	120000.00	\$ 14,375,000.00
Fee Development @ 7%				\$ 999,600.00
NMGRT @ 7.75%				\$ 1,212,818.25
Subtotal				\$ 16,027,812.50
15% Contingency				\$ 2,291,940.00
Construction Budget (Spec Building Subtotal)				\$ 18,784,358.25
Phase I Infrastructure				\$ 12,518,754.18
TOTAL: Phase I Development Cost (Spec Building and Infrastructure)				\$ 31,303,112.43

Rail Yard Civil	Unit Price	Unit	Qty	Cost
Excavation	\$ 5.00	CY	620,000	\$ 3,100,000.00
Embankment	\$ 8.00	CY	780,000	\$ 6,240,000.00
Drainage / Erosion Control	\$ 150,000.00	LS	1	\$ 150,000.00
Roadway - 50'	\$ 45.00	LF	82,200	\$ 3,699,000.00
NMGRT @ 7.75%				\$ 1,022,147.50
sub-total				\$ 14,211,147.50
20% Contingency				\$ 2,842,229.50
Construction Budget				\$ 17,053,377.00

## 2 Industrial Park Infrastructure (Phase II)

### 2.1 ROADWAY & DRAINAGE

Lead-in Track (5,900)	Unit Price	Unit	Qty	Cost
Rock Excavation (primarily)	\$ 35.00	CY	143,000	\$ 5,005,000.00
Embankment	\$ 8.00	CY	11,000	\$ 88,000.00
8" Subballast	\$ 11.00	SY	26,000	\$ 286,000.00
Drainage / Erosion Control	\$ 30,000.00	LS	1	\$ 30,000.00
Industry track	\$ 150.00	LF	5,900	\$ 885,000.00
#9 Turnout	\$ 150,000.00	EA	2	\$ 300,000.00
NMGRT @ 7.75%				\$ 511,035.00
sub-total				\$ 7,105,035.00
20% Contingency				\$ 1,421,007.00
Construction Budget				\$ 8,526,042.00

Rail Yard Track	Unit Price	Unit	Qty	Cost
8" Subballast	\$ 11.00	SY	136,000	\$ 1,496,000.00
Industry track	\$ 150.00	LF	16,400	\$ 2,460,000.00
50' Crossing Concrete	\$ 250.00	LF	-	\$ -
#9 Turnout	\$ 150,000.00	EA	4	\$ 600,000.00
NMGRT @ 7.75%				\$ 353,090.00
sub-total				\$ 4,909,090.00
20% Contingency				\$ 981,818.00
Construction Budget				\$ 5,890,908.00



Appendix D: Summary of Cost Estimates and Raw Data

CR 19 Intersection and Access Rd	Unit Price	Unit	Qty	Cost
Embankment	\$ 8.00	CY	52,100	\$ 416,800.00
Drainage / Erosion Control	\$50,000.00	LS	1	\$ 50,000.00
Roadway - 50', 1,000' length	\$ 45.00	SY	5,600	\$ 252,000.00
CR 19 Widening	\$ 45.00	SY	2,000	\$ 90,000.00
Striping / Traffic Control	\$ 20,000.00	LS	1	\$ 20,000.00
NMGRT @ 7.75%				\$ 57,257.00
sub-total				\$ 886,057.00
20% Contingency				\$ 177,211.40
<b>Construction Budget</b>				<b>\$ 1,063,268.40</b>

Water Infrastructure		UNIT	EST. QTY.	UNIT PRICE	AMOUNT
1	290,000 gallon Steel water tank	Gal.	290,000	\$ 1.75	\$ 507,500.00
2	100 gpm Booster pump Skid (3 pump system) installed	Ea.	1	\$ 90,000.00	\$ 90,000.00
3	Bladder tanks	Ea.	2	\$ 8,000.00	\$ 16,000.00
4	2000 gpm Fire Pump Skid	Ea.	1	\$102,500.00	\$ 102,500.00
5	Building 24X30 - Complete w/ Electrical and Plumbing	Sq.ft.	720	\$ 300.00	\$ 216,000.00
6	8-5/8" Steel Cased Potable Water Well - Drilling Complete	Lf.	350	\$ 700.00	\$ 245,000.00
7	Chlorination System	Ea.	1	\$ 15,000.00	\$ 15,000.00
8	8" Waterline Pipe excl. fitting, (std. spec.sec 801), incl. Trench, & compacted backfill, to 6' depth, cip.	Lf.	14,400	\$ 25.00	\$ 360,000.00
9	8" Gate Valve, cip SD 2333	Ea.	11	\$ 2,500.00	\$ 27,500.00
10	Fire Hydrant 4 1/2' bury, MJ, incl. blocking & aggregate, cip. SD 2340	Ea.	40	\$ 5,000.00	\$ 200,000.00
11	6" Service Stub-Out w/ 6" Gate Valve, 100'	Ea.	10	\$ 6,000.00	\$ 60,000.00
	Subtotal (line items 1-10)				\$ 1,839,500.00
	NMGRT (7.75%)				\$ 142,561.25
	Subtotal w/ NMGRT				\$ 1,982,061.25
	Contingency @ 20%, excl. NMGRT				\$ 367,900.00
	<b>TOTAL Water Infrastructure</b>				<b>\$ 2,349,961.25</b>

2.2 WATER/WASTEWATER

Wastewater Infrastructure		UNIT	EST. QTY.	UNIT PRICE	AMOUNT
1	10,000-gallon Advanced Treatment Septic Tank	Ea.	2	\$ 28,000.00	\$ 56,000.00
2	Chamber Type Drainfield	Lf.	3,000	\$ 30.00	\$ 90,000.00
3	8" SAS, DR 35, including trenching, backfill and compaction, CIP	Lf.	11,400	\$ 37.00	\$ 421,800.00
4	8" Main Line Terminal Clean-out	Ea.	8	\$ 3,000.00	\$ 24,000.00
5	Extra Depth 6' - 12' for SAS 8"	VF-LF	3,990	\$ 3.00	\$ 11,970.00
6	4' manhole , including trenching, backfill and compaction, CIP	Ea.	26	\$ 4,000.00	\$ 104,000.00
	Subtotal (line items 1-6)				\$ 707,770.00
	NMGRT (7.75%)				\$ 54,852.18
	Subtotal w/ NMGRT				\$ 762,622.18
	Contingency @ 20%, excl. NMGRT				\$ 141,554.00
	<b>TOTAL Wastewater Infrastructure</b>				<b>\$ 904,176.18</b>

Water/Wastewater Estimated Full Build-Out Cost: \$ 3,254,137.43

### 3 Total Costs

Phase	Estimated Cost
Full-build Cost (excl. Phase I Spec Building and Infrastructure)	\$ 35,787,732.83
Phase I Spec Building Development Cost (Building and Infrastructure)	\$ <b>31,303,112.43</b>
<b>Full On-Site Build out Development Cost with Phase 1 Spec Building</b>	<b>\$ 67,090,845.26</b>



## Appendix E – Appraisal

**Prewitt Industrial Park**  
MASTER PLAN AND PRELIMINARY DESIGN



**WILSON & COMPANY**  
HIGHER RELATIONSHIPS

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## APPRAISAL REPORT

**Vacant Land**  
625.85 Acres in Prewitt  
Prewitt, Cibola County, New Mexico 87045

*Appraisal File #A20070*



SOURCE: GOOGLE EARTH

**Effective Date of Value:** April 27, 2020

**Date of Report:** May 7, 2020

### Prepared For:

Wilson & Company, Inc., Engineers & Architects, State of New Mexico Department of Finance, and Village of Milan  
Attn: Mario Juarez-Infante, Vice President  
4401 Masthead Street NE, Suite 150  
Albuquerque, New Mexico 87109

### Prepared By:



2411 Cabezon Boulevard, Suite 101  
Rio Rancho, New Mexico 87124  
(505) 343-0400 / FAX (505) 353-3993



May 7, 2020

Wilson & Company, Inc., Engineers & Architects, State of New Mexico Department of Finance, and Village of Milan

Attn: Mario Juarez-Infante, Vice President  
4401 Masthead Street NE, Suite 150  
Albuquerque, New Mexico 87109

RE: Appraisal Report  
Vacant Land  
625.85 Acres in Prewitt  
Prewitt, Cibola County, New Mexico 87045  
Appraisal File #A20070

Dear Mr. Juarez-Infante:

In accordance with your request, we have prepared an Appraisal Report on the above-referenced property. The effective date of the appraisal is April 27, 2020. The purpose of the appraisal is to provide our opinion of the "as is" market value of the fee simple interest in the subject property. The intended users of the appraisal are Wilson & Company, Inc., Engineers & Architects, State of New Mexico Department of Finance, and Village of Milan. The intended use of the appraisal is to assist the client with internal business/purchase decisions.

This letter of transmittal is not to be misconstrued as a complete and full narrative report, but merely indicates the final opinion of market value developed in the following Appraisal Report in Summary Format. The report provides the necessary supporting data, assumptions, and justifications for our final value opinion. The appraisal is made subject to the general assumptions and limiting conditions stated within the body of the report. The appraisal was prepared in conformance with the current requirements as set forth by the Federal Financial Institutions Reform Recovery and Enforcement Act (FIRREA), the Appraisal Foundation for Uniform Standards of Professional Appraisal Practice (USPAP), the Office of the Comptroller of the Currency's Real Estate Appraisal and Evaluation Guidelines, and with the requirements of the federal bank regulating agencies. The Certification and Assumptions and Limiting Conditions are presented in the *Addenda*, and are considered an integral part of the report. Considering analysis presented herein, the following opinion of market value for the above-referenced property has been reconciled:

#### FINAL OPINION OF MARKET VALUE

Property Rights	Effective Date	Value Scenario	Market Value
Fee Simple Estate	April 27, 2020	"As Is" Market Value	\$390,000

Respectfully submitted,

Shane LeMon, MAI, CCIM  
NM General Certified Appraiser #00193-G

Kathleen E. Burmeister, MAI  
NM General Certified Appraiser #03025-G

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**ADDENDA**

Exhibit A ..... Certification  
 Exhibit B ..... Assumptions & Limiting Conditions  
 Exhibit C ..... Qualifications of the Appraisers  
 Exhibit D ..... Engagement Letter  
 Exhibit E..... Subject Information

**SUMMARY OF IMPORTANT FACTS & CONCLUSIONS**

<b>PROPERTY TYPE</b>	Vacant Land
<b>PROPERTY IDENTIFICATION</b>	625.85 Acres in Prewitt Prewitt, Cibola County, New Mexico 87045
<b>EFFECTIVE DATE OF VALUE</b>	April 27, 2020
<b>DATE OF REPORT</b>	May 7, 2020
<b>PROPERTY RIGHTS APPRAISED</b>	Fee Simple Estate
<b>OWNER OF RECORD</b>	Department of Agriculture in care of Cibola National Forest
<b>PROPERTY DATA</b>	
SITE AREA	27,262,048± square feet, or 625.85 acres (both per client's measurements; subject to survey)
ZONING	None
FLOOD ZONE	The subject site is located on Flood Insurance Rate Map 35031C2050E, dated February 17, 2010. The subject site is located in unshaded zone X. The applicable flood zone map is presented in the <i>Addenda</i> .
TOPOGRAPHY	Mostly level
ACCESS	Accessible via the west side Highway 19.
UTILITIES	Near the site
<b>HIGHEST &amp; BEST USE</b>	
AS THOUGH VACANT	Agricultural development
<b>ESTIMATED MARKETING /EXPOSURE TIME</b>	
	One to two years

**RECONCILED OPINION OF MARKET VALUE**

Property Rights	Effective Date of Value	Opinion of Value Scenario	Market Value
Fee Simple Estate	April 27, 2020	"As Is" Market Value	\$390,000

## APPRAISAL PREFACE

We have performed an Appraisal Report of 625.85 acres of vacant land in Prewitt, Cibola County, New Mexico 87045.

An *appraisal* is defined as:

*"1. The act or process of developing an opinion of value; an opinion of value."*<sup>1</sup>

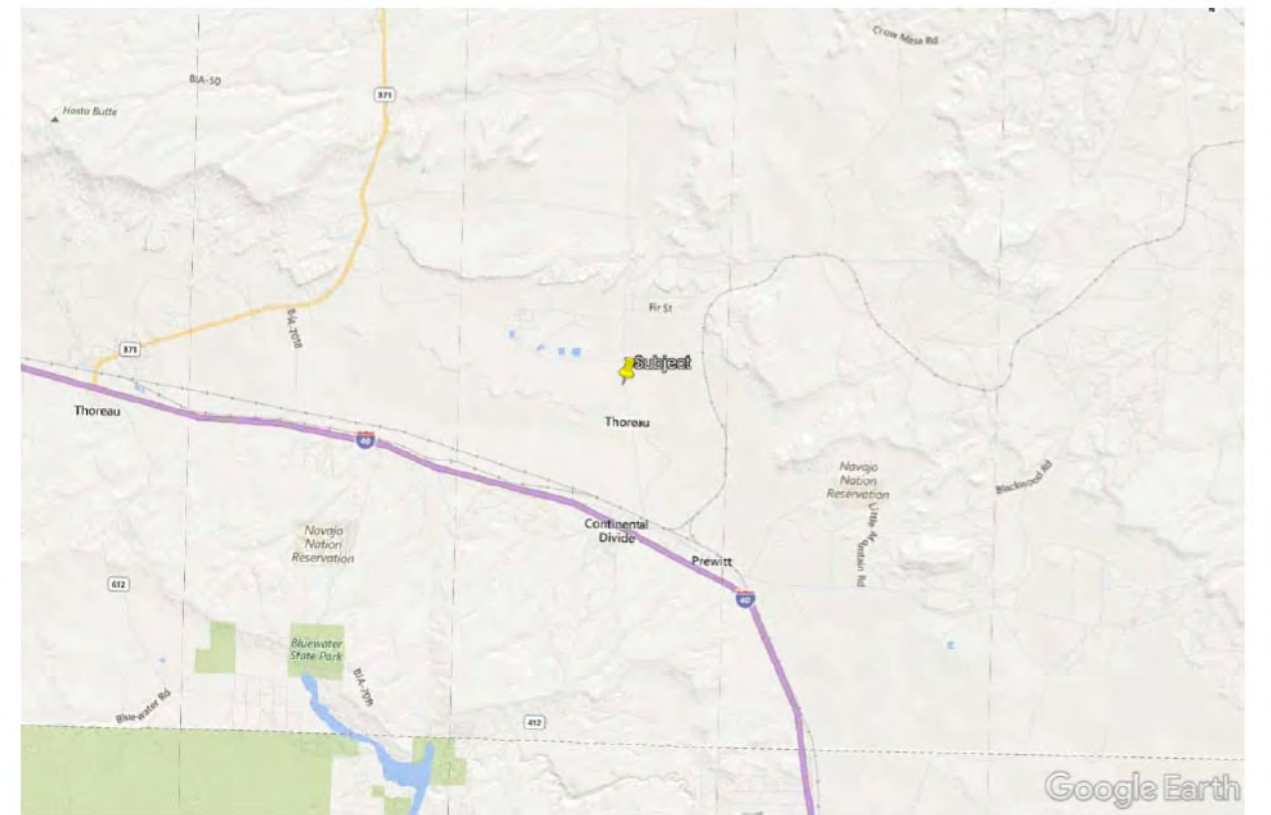
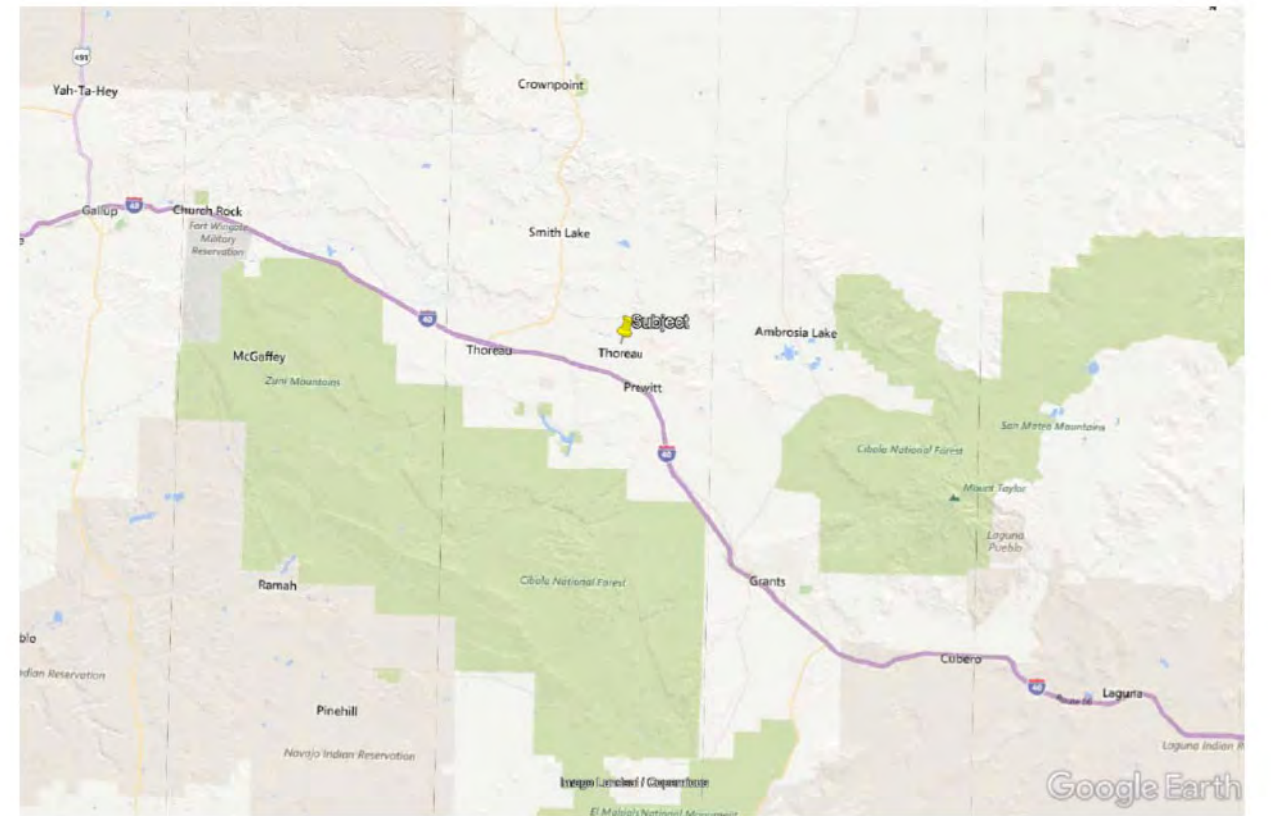
The following text is a *report*, defined as:

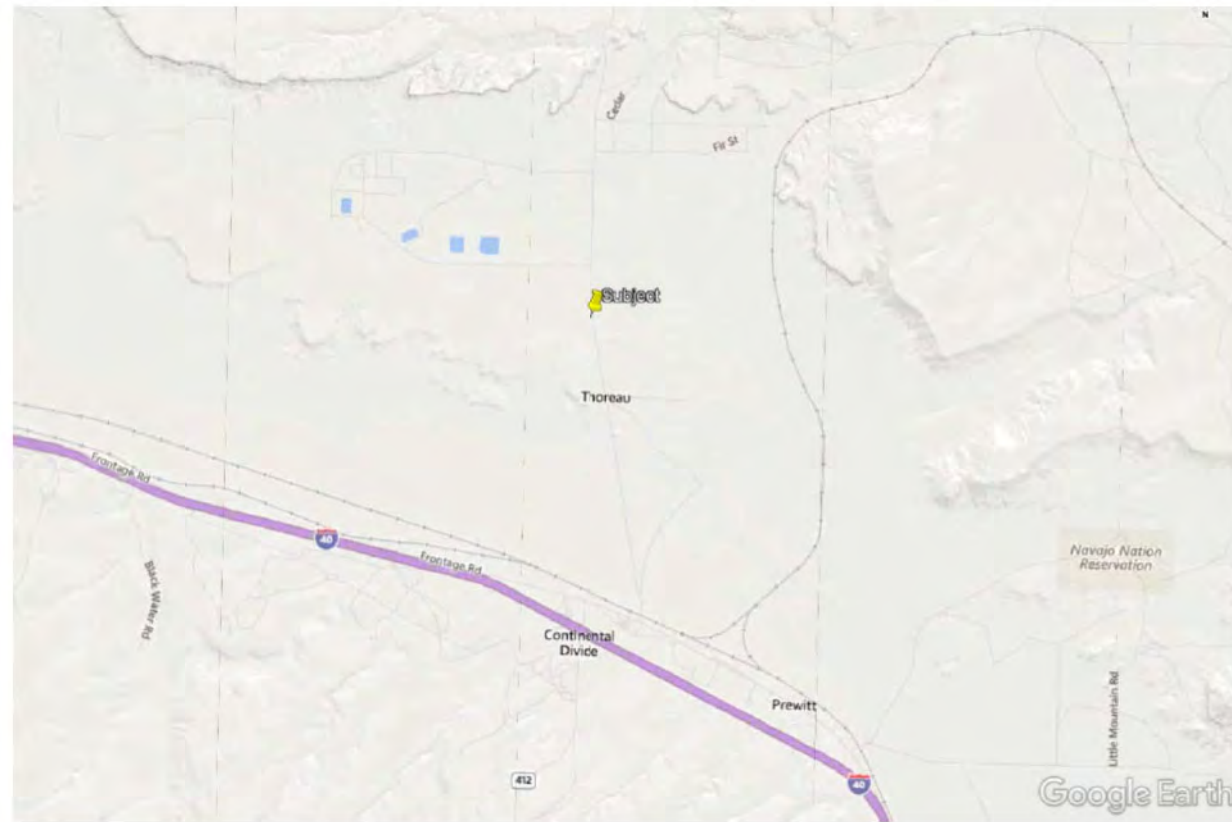
*"Any communication, written or oral, of an appraisal or appraisal review that is transmitted to the client or a party authorized by the client upon completion of an assignment."*<sup>2</sup> Reporting requirements are set forth in the Standards Rules in Standard 2 of the Uniform Standards of Professional Appraisal Practice.

The preface contains location maps of the subject property.

<sup>1</sup> USPAP 2020-2021 Edition, The Appraisal Foundation, page 3

<sup>2</sup> Ibid., page 5





Source: Google Earth

## APPRAISAL REPORT

This is an Appraisal Report, which is intended to comply with the reporting requirements set forth under Standard Rule 2-2(a) of the Uniform Standards of Professional Appraisal Practice for an Appraisal Report. As such, it presents summarized discussions of the data, reasoning, and analyses that were used in the appraisal process to develop the appraisers' opinion of value. Supporting documentation concerning the data, reasoning, and analyses is retained in the appraisers' file. The depth of discussion contained in this report is specific to the needs of the client and for the intended use stated below. The appraisers are not responsible for the unauthorized use of this report.

## CLIENT

Wilson & Company, Inc., Engineers & Architects, State of New Mexico Department of Finance, and Village of Milan  
 Attn: Mario Juarez-Infante, Vice President  
 4401 Masthead Street NE, Suite 150  
 Albuquerque, New Mexico 87109  
 Phone: (505) 722-9121

## APPRAISERS

Shane LeMon, MAI, CCIM and Kathleen E. Burmeister, MAI  
 American Property-Consultants & Appraisers, Inc.  
 2411 Cabezon Boulevard, Suite 101  
 Rio Rancho, New Mexico 87124

## SUBJECT

Vacant Land  
 625.85 Acres in Prewitt  
 Prewitt, Cibola County, New Mexico 87045

## EFFECTIVE DATE OF VALUE

April 27, 2020

## DATE OF REPORT

May 7, 2020

## INTENDED USE OF THE REPORT

The intended use of the appraisal is to provide our opinion of the "as is" market value of the fee simple interest in the subject site, as of the effective date noted, to assist the client with internal business/purchase decisions. Following is the definition of *market value* as defined by the Office of the Comptroller of the Currency Regulation 12 CFR Part 34:

*"the most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:*

- (1) Buyer and seller are typically motivated;
  - (2) Both parties are well informed or well advised, and acting in what they consider their own best interests;
  - (3) A reasonable time is allowed for exposure in the open market;
  - (4) Payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto;
- and,



(5) *The price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale.*"

## INTENDED USERS OF THE REPORT

The only intended users of the report are Wilson & Company, Inc., Engineers & Architects, State of New Mexico Department of Finance, and Village of Milan.

## PROPERTY RIGHTS

The subject is a vacant site. Thus, we are appraising the fee simple interest.

### Fee Simple Interest:

*"Absolute ownership unencumbered by any other interest or estate, subject only to the limitations imposed by the governmental powers of taxation, eminent domain, police power, and escheat."*<sup>3</sup>

## SCOPE OF WORK

In preparing this appraisal, we...

- gathered data on comparable vacant land sales;
- confirmed and analyzed the data;
- analyzed highest and best use;
- analyzed all sales, agreements of sale, offers, options, or listings of the subject property within three years prior to the effective date of this appraisal;
- developed the most applicable approach to value; i.e., the Sales Comparison Approach. The Cost Approach is not generally applicable in valuation of a property with no site or building improvements. Because we were asked to value the subject site as vacant, the Income Capitalization Approach is not applicable.

This Appraisal Report is a brief recapitulation of our data, analyses, and conclusions. Supporting documentation is retained in the appraisal file. *Understanding that New Mexico is a non-disclosure State, information used in the report is as reliable as practical.*

## OWNERSHIP & HISTORY

Ownership of the subject site has been vested in the name of Department of Agriculture in care of Cibola National Forest for more than three years. The subject is a vacant site. *No other transactions, offers for purchase, or listings for sale of the subject property within the last three years have been reported, or are known to us.*

<sup>3</sup> Appraisal Institute, *The Dictionary of Real Estate Appraisal*, Sixth Edition, 2015, page 90

## CIBOLA COUNTY/GRANTS/MILAN & PREWITT AREA DATA

The subject property is located in Prewitt about 20 miles northwest of the City of Grants, New Mexico. It is about 40 miles east of Gallup and 100 miles west of Albuquerque.



### REGIONAL & CITY INFLUENCES

Located in the northwestern portion of New Mexico, Cibola County is the newest county in the State. It was created by the State legislature in July 1981 by separating 4,180 square miles from the western portion of Valencia County. The County extends east to Bernalillo County and west to the Arizona border. Cibola County ranks 15th in size among the 33 counties of the State. The County is sparsely populated, with the largest community and county seat being Grants. The bordering states, Colorado to the north, Arizona to the west, and Texas to the east and south, all have major cities within a day's time or a few hours flying time.



Grants is nestled between mesas below Mt. Taylor



### PHYSICAL CHARACTERISTICS

The northern portion of the County is fairly mountainous, with much of this area within the Cibola National Forest. A lava flow lying east of the Continental Divide winds its way southward through the middle portion of the County. Soil conditions tend to consist of a sandy loam with a rocky lava basalt base. There are intermittent limestone deposits in the area, some with commercial value.

Cibola National Forest has over 300,000 acres of forest land comprised mainly of pinon, juniper, aspen and ponderosa pine. In contrast, El Malpais, the area's largest extinct volcano formation, is commonly referred to

as the “badlands”. El Malpais is located south of the Cibola National Forest in the central portion of the county.

The elevation in Cibola County ranges from 5,800 feet at Laguna to 11,301 feet at Mount Taylor. Grants Airport has an elevation of 6,520 feet, and the elevation at Fence Lake is 7,055 feet. Temperatures in July range from 55 to 87 degrees Fahrenheit, while January temperatures range from 14 to 44 degrees. Annual precipitation is 10.1 inches and the first freeze occurs around the beginning of October each year.



El Morro National Monument



La Ventana at El Malpais National Monument

**HISTORY**

In 1880, three brothers, Angus, Lewis and John Grant, had contracted to build a railroad for this particular area. For several years the line ended at a camp that became known as Grants Camp. The name was later changed to Grants Station, and then shortened to Grants.

In the late 1800s the settlers were mainly sheep and cattle men. Grazing pastures were excellent and water plentiful. When a drought began in 1918, the pastures became over-grazed and settlers began to look for more lucrative means of survival. Thus, logging became the main business of the area. Grants, the largest community in the county, had a 1925 population of 250, which then swelled to 800 by 1940 when the logging business had begun to slow down. The Bluewater Valley, after completion of the Bluewater Dam in 1929, earned a reputation for vegetables of outstanding quality. Unfortunately, by 1945 plastic packaging was required in grocery stores, and stores wanted produce from closer markets. This trend ended the economic viability of the area’s produce industry.

Mining had traditionally been a strong economic influence in the County. Fluorspar, copper ore, pumice and coal had been mined since the turn of the century. In 1950, uranium was discovered, which created a “boom” era. Due to the uranium industry, the population of Grants increased from 2,200 in 1950 to 7,000 in 1955, to 10,000 in 1960.

By the early 1980s, the economy in the County had taken a drastic downturn due to the poor economics of the uranium industry. Mills and mines were closed, people were laid off, and many began to leave the area. Since that time, the community has struggled diligently to bring diversified businesses to the area to boost the economy. The prison industry has become significant, the Plains Electric Generating Plant was built in Prewitt, and the New Mexico Mining Museum was constructed to attract tourists.



The Grants Mining Museum

**TRANSPORTATION**

Grants is located 80 miles west of Albuquerque, along Interstate 40, the nation’s most traveled east-west highway. Three interchanges serve the Grants/Milan area. Grants has railroad service, and bus service from both Greyhound and Continental Trailways. There are also numerous state highways throughout Cibola County for auto travel.

**UTILITIES**

In the City of Grants and the Village of Milan, electricity is provided by the Continental Divide Electric Cooperative, and natural gas is provided by New Mexico Gas Company. Water and sewer service are provided by each municipality. Garbage service is provided by Waste Management of New Mexico. Police and fire protection are also provided by each city.

**EDUCATION**

Education is provided by the Grants/Cibola County school district, including eight elementary schools (one, Milan Elementary, within Milan), one middle school, and two high schools. There are also four private and parochial schools. Enrollment in the public schools has been consistently near 4,000 since 1983. For those interested in post-secondary education, the Grants branch of New Mexico State University offers technical/vocational training and associate degrees to approximately 300 students each year.

**GOVERNMENT**

Milan is an incorporated village, with a mayor-city council form of government. Council members are elected on a district basis. Zoning and planning commission members are appointed by the Village administrators. A policy of master planning and special use zoning has been, for the most part, beneficial and judicious, and land use planning is often done in concert with the Grants and Cibola County governments.

**RECREATIONAL & CULTURAL**

Cibola County offers many recreational and cultural opportunities. Acoma, the Sky City, is one of the oldest inhabited cities in the U. S., and Acomita Lake offers fishing nearby. Bandera Volcano is a 1,000 foot deep crater giving easy access to an erupted volcano, and Bluewater Lake State Park has year-round water sports and camping. Chaco Canyon National Monument, which is the center of the extinct Anasazi culture, is the largest excavated Indian ruin in North America, and is easily accessible via State Highway 509 from Milan.

Other tourist attractions include El Malpais National Monument, which is an ancient lava flow, El Morro National Monument, where Spanish Conquistadors camped beginning in 1605, the Ice Caves with temperatures of 31 degrees year round, and the Rainbow Bridge which is a 309 foot high natural stone bridge in El Malpais. Zuni and Laguna Pueblos are also available for tourists to experience the Indian culture as it was before Columbus. Additionally, there are numerous County and City parks available throughout the County.

**POPULATION**

The following table shows population figures for each of the three jurisdictions.

Year	Cibola County	% Δ	Grants	% Δ	Milan	% Δ
1960			10,274		2,658	
1970			8,768	-14.66%	2,222	-16.40%
1980	30,346		11,439	30.46%	3,742	68.41%
1990	23,794	-21.59	8,669	-24.22%	1,967	-47.43%
2000	25,595	7.57%	8,806	1.58%	1,891	-3.86%
2010	27,213	6.32%	9,182	4.27%	3,245	71.60%
2017	27,049	-0.60%	9,094	-0.96%	3,644	12.30%

Source: U.S. Census, American Fact Finder, American Community Survey & BBER/UNM.  
Population change rates are straight-line.

Population fluctuations are evident, and most are the result of changes in the uranium mining industry and the prison industry. There was a significant population decline in Milan from 1980 through 1990 due to the mining bust. The population grew again through 2010. This growth was not due to resident growth, but to growth in the prison population in Milan. Ignoring the prison population, the population of Milan has been relatively stable at just under 2,000 people.

Additional data is taken from *The Site To Do Business*, and the data is from the U.S. Bureau of the Census with forecasts by Esri, which is an international supplier of geographic/demographic information. The population forecast for Cibola County in 2023 is 26,426, which is a slight decline from the 2017 population of 27,049 and the 2010 population of 27,213. For Grants, the forecast is for the 2023 population of 9,488, which is about a one quarter of one percent per year increase from the 2010 population of 9,182. For Milan, the 2023 population forecast is 2,017 (does not include prison population). In general, the forecast is for little to no growth in population in all three jurisdictions.

**EMPLOYMENT**

**EMPLOYMENT STATISTICS**

Labor force and employment figures have varied over the last 10 years. The following table reflects employment information obtained from the Department of Workforce Solutions (State of New Mexico):

**EMPLOYMENT - CIBOLA COUNTY**

Year	Labor Force	Employment	Unemployment Rate
2006	12,093	11,542	4.6%
2007	11,968	11,463	4.2%
2008	12,357	11,786	4.6%
2009	12,336	11,492	6.8%

2010	9,201	8,332	9.4%
2011	9,179	8,338	9.2%
2012	9,245	8,480	8.3%
2013	9,112	8,365	8.2%
2014	8,992	8,241	8.4%
2015	9,151	8,427	7.9%
2016	9,296	8,540	8.1%
2017	9,081	8,408	7.4%
2018	8,927	8,366	6.3%
Q2 2019	9,082	8,479	6.6%

SOURCE: New Mexico Department of Workforce Solutions (current data as of 10/7/2019)

When the economy took a turn for the worst, unemployment in the City of Grants increased dramatically. It was not until 2012 that the unemployment rate began to decrease at a slow pace. The current unemployment rate is 6.6% as of August 2019. This was much higher than the state-wide average of 5.1%. Although this was an increase in unemployment, it is projected that unemployment rates will continue to drop at a steady pace in the City. Listed below are the major employers in Cibola County:

**MAJOR EMPLOYERS - CIBOLA COUNTY**

Employer	# Employed
Pueblo of Laguna	507
Grants/Cibola County Schools	500 Contract/71 Substitute
Sky City Casino	357
Laguna Industries	320
Pueblo of Acoma	302
NM State Highway Department	287
Lee Ranch Coal Mine	263
ACL Hospital	240
Western NM Correctional Facility	206 State/30 Contract
Plains Electric	130
NM Women's Correctional Facility-CCA	120
McKinley Paper Company	115
Cibola County Corrections-CCA	110
Cibola General Hospital	105
City of Grants	100 Full-time/130 Part-time
Milan Supermarket	90
Cibola County	70 Full-time/11 Temps
Continental Divide Electric	60
Mt. Taylor Millwork	55
Smith's Food & Drug	55
Casa Blanca Commercial Center	43
NMSU-Grants Branch	40 Full-time/60 Part-time
Grants State Bank	38
Quivira Mining Company	30

Esri data (Business Summary) taken from *The Site to do Business* breaks down business by NAICS codes. At the county level, the largest concentration of employees is in the Healthcare & Social Assistance category (16.5%) followed by Public Administration (15.6%), Educational Services (14.9%) and Retail Trade (12.3%). Combined, these four categories account for nearly 60% of all employment. For the Village of Milan, the

largest concentration of employees is in Public Administration (40.8%) followed by Retail Trade (16.9%), Accommodations & Food Service (14.2%) and Gasoline Stations (14.0%).

The two jurisdictions are quite different in their employment profiles. Public Administration is government, which is far and away the largest category in Milan. The last three categories reflect the substantial influence of I-40 as it bisects the Village.



Cibola County Courthouse

**HOUSING**

**Milan** - Esri shows Milan had 837 housing units in 2010, and by 2019, there were still 837, and the forecast is for 845 housing units by 2024. From 2010 to 2024, the inventory will increase by less than 1 unit per year. The following table shows owner-occupied units by value in 2019.

Owner Occupied Housing Units by Value	2019		2024	
	Number	Percent	Number	Percent
Total	537	100.0%	539	100.0%
<\$50,000	87	16.2%	62	11.5%
\$50,000-\$99,999	155	28.9%	127	23.6%
\$100,000-\$149,999	145	27.0%	157	29.1%
\$150,000-\$199,999	49	9.1%	57	10.6%
\$200,000-\$249,999	47	8.8%	59	10.9%
\$250,000-\$299,999	44	8.2%	63	11.7%
\$300,000-\$399,999	6	1.1%	9	1.7%
\$400,000-\$499,999	1	0.2%	0	0.0%
\$500,000-\$749,999	3	0.6%	5	0.9%
\$750,000-\$999,999	0	0.0%	0	0.0%
\$1,000,000-\$1,499,999	0	0.0%	0	0.0%
\$1,500,000-\$1,999,999	0	0.0%	0	0.0%
\$2,000,000+	0	0.0%	0	0.0%
Median Value	\$109,138		\$125,637	
Average Value	\$125,885		\$143,878	

Nearly 16% of the owner-occupied housing stock (87 units) is under \$50,000 in value, with 45.1% of the stock less than \$100,000, and 72.1% of the stock less than \$150,000. The average home value in Milan is \$125,885, and the median is \$109,138. *The 2012 – 2016 American Community Survey* shows that 39.7% of the housing stock was built between 1970 and 1979, and nearly 88% between 1960 and 1999; a period of time when the mining industry was still active in the area. Mobile homes account for about 50% of the total housing stock.

**Prewitt** - Esri shows Prewitt had 445 housing units in 2010, and by 2019, there were 451, and the forecast is for 452 housing units by 2024. The following table shows owner-occupied units by value in 2019.

Owner Occupied Housing Units by Value	2019		2024	
	Number	Percent	Number	Percent
Total	310	100.0%	313	100.0%
<\$50,000	100	32.3%	79	25.2%
\$50,000-\$99,999	67	21.6%	59	18.8%
\$100,000-\$149,999	86	27.7%	97	31.0%
\$150,000-\$199,999	28	9.0%	36	11.5%
\$200,000-\$249,999	22	7.1%	30	9.6%
\$250,000-\$299,999	2	0.6%	3	1.0%
\$300,000-\$399,999	2	0.6%	3	1.0%
\$400,000-\$499,999	3	1.0%	6	1.9%
\$500,000-\$749,999	0	0.0%	0	0.0%
\$750,000-\$999,999	0	0.0%	0	0.0%
\$1,000,000-\$1,499,999	0	0.0%	0	0.0%
\$1,500,000-\$1,999,999	0	0.0%	0	0.0%
\$2,000,000+	0	0.0%	0	0.0%
Median Value	\$91,045		\$109,536	
Average Value	\$99,113		\$115,495	

Nearly 32% of the owner-occupied housing stock (100 units) is under \$50,000 in value, with 53.9% of the stock less than \$100,000, and 81.6% of the stock less than \$150,000. The average home value in Prewitt is \$99,113, and the median is \$91,045.

**Grants** - Esri shows Grants had 3,804 housing units in 2000, and by 2019, there were 3,926 (average of 6.4 new units per year), and the forecast is for 3,988 housing units by 2024. From 2010 to 2024, the inventory will increase by 184 units or 7.7 units per year on average. The following table shows owner-occupied units by value in 2019.

Owner Occupied Housing Units by Value	2019		2024	
	Number	Percent	Number	Percent
Total	2,288	100.0%	2,281	100.0%
<\$50,000	289	12.6%	209	9.2%
\$50,000-\$99,999	673	29.4%	565	24.8%
\$100,000-\$149,999	502	21.9%	495	21.7%
\$150,000-\$199,999	370	16.2%	416	18.2%
\$200,000-\$249,999	206	9.0%	262	11.5%
\$250,000-\$299,999	119	5.2%	139	6.1%
\$300,000-\$399,999	101	4.4%	154	6.8%
\$400,000-\$499,999	11	0.5%	15	0.7%
\$500,000-\$749,999	17	0.7%	26	1.1%
\$750,000-\$999,999	0	0.0%	0	0.0%
\$1,000,000-\$1,499,999	0	0.0%	0	0.0%
\$1,500,000-\$1,999,999	0	0.0%	0	0.0%
\$2,000,000+	0	0.0%	0	0.0%
Median Value	\$118,127		\$137,020	
Average Value	\$137,762		\$156,225	

About 29.4% of the owner-occupied housing stock (2,292 units) ranges from \$50,000 to \$99,000, followed by 21.9% in the \$100,000 to \$149,999 range, and 16.2% in the \$200,000 to \$249,999 range. About 12.6% of the owner-occupied housing stock is less than \$50,000. The average home value in Grants is \$137,762, and median is \$118,127.

**INCOME**

**Milan** - Esri shows Milan had 725 households in 2019. The following table shows income distribution within these households.

Households by Income	2019		2024	
	Number	Percent	Number	Percent
<\$15,000	139	19.1%	141	19.6%
\$15,000 - \$24,999	165	22.7%	162	22.5%
\$25,000 - \$34,999	54	7.4%	54	7.5%
\$35,000 - \$49,999	105	14.5%	104	14.5%
\$50,000 - \$74,999	142	19.6%	139	19.3%
\$75,000 - \$99,999	55	7.6%	52	7.2%
\$100,000 - \$149,999	66	9.1%	67	9.3%
\$150,000 - \$199,999	0	0.0%	0	0.0%
\$200,000+	0	0.0%	0	0.0%
Median Household Income	\$35,512		\$35,256	
Average Household Income	\$44,583		\$46,255	
Per Capita Income	\$16,987		\$17,593	

Approximately 19% of all households in Milan have an income of less than \$15,000, and nearly 64% have income less than \$50,000. About 9% have household incomes over \$100,000. In 2019, the average household income was \$44,583, and the median was \$35,512.

**Prewitt** - Esri shows Prewitt had 330 households in 2019. The following table shows income distribution within these households.

Households by Income	2019		2024	
	Number	Percent	Number	Percent
<\$15,000	118	35.8%	113	33.9%
\$15,000 - \$24,999	62	18.8%	60	18.0%
\$25,000 - \$34,999	68	20.6%	72	21.6%
\$35,000 - \$49,999	32	9.7%	34	10.2%
\$50,000 - \$74,999	9	2.7%	10	3.0%
\$75,000 - \$99,999	9	2.7%	10	3.0%
\$100,000 - \$149,999	17	5.2%	19	5.7%
\$150,000 - \$199,999	15	4.5%	15	4.5%
\$200,000+	0	0.0%	0	0.0%
Median Household Income	\$21,718		\$23,453	
Average Household Income	\$35,468		\$38,236	
Per Capita Income	\$10,432		\$11,298	

Nearly 36% of all households in Prewitt have an income of less than \$15,000, and nearly 85% have income less than \$50,000. Only 9.7% have household incomes over \$100,000. In 2019, the average household income was \$35,468, and the median was \$27,718.

**Grants** - Esri shows Grants had 3,374 households in 2019. The following table shows income distribution within these households.

Households by Income	2019		2024	
	Number	Percent	Number	Percent
<\$15,000	714	21.2%	689	20.5%
\$15,000 - \$24,999	497	14.7%	471	14.0%
\$25,000 - \$34,999	407	12.1%	410	12.2%
\$35,000 - \$49,999	444	13.2%	451	13.4%
\$50,000 - \$74,999	551	16.3%	564	16.8%
\$75,000 - \$99,999	383	11.4%	380	11.3%
\$100,000 - \$149,999	246	7.3%	262	7.8%
\$150,000 - \$199,999	99	2.9%	99	2.9%
\$200,000+	33	1.0%	37	1.1%
Median Household Income	\$36,760		\$37,879	
Average Household Income	\$51,211		\$54,310	
Per Capita Income	\$19,218		\$20,386	

Approximately 21% of all households in Grants have an income of less than \$15,000, and 61.2% have incomes less than \$50,000. Nearly 11.2% have household incomes over \$100,000. In 2019, the average household income is shown at \$51,211, and the median was \$36,760.

**SUMMARY**

Overall, Cibola County, Grants, Milan, and Prewitt are slowly recovering from the decline in the mining industry and the Great Recession. Employment has been improving, but the area lags the state and most other counties in New Mexico. The nature of employment has also changed as mining, which was once a major source of employment, has diminished to only 2.4% (NAICS Code) at the county level. For Milan, mining accounts for only 0.5% of the total number of employees, and in Grants it accounts for 4.7%. Within the Grants/Milan area, there were 6,000 workers in the mines in 1979. By 1980, 3-Mile Island had occurred, which triggered a collapse in the uranium market, and escalated unemployment in the area by 35%. Population and housing growth have been very slow in all three jurisdictions. The forecast for the area is essentially one of stability with very slow growth. Cibola County is rich in tradition with a blend of three cultures. It is also rich in natural recreational spaces including Mount Taylor, El Morro and El Malpais National Monuments, Cibola National Forest, Bluewater Lake and the Acoma, Laguna, and Zuni Pueblos, as well as the Ramah Navajo Chapter. Nearly 70% of the land acreage in Cibola County is composed of Federal/State land (38.3%) and Acoma, Laguna, Zuni, Ramah reservations (30.5%). The Grants-Milan area accounts for nearly 50% of the county population, and this area accounts for the highest concentration of residential and commercial development providing jobs, shopping and services.

McKinley County and the Navajo Nation have reported numerous cases of COVID-19. The area is a “hotspot” in New Mexico for COVID-19 with the virus spreading rapidly. Government officials have imposed temporary regulations in an attempt to slow the spread of the virus. The most recent ordinance limits alcohol sales and established a self-curfew, encouraging people to stay home between 8:00 pm and 5:00 am. Due to the large number of COVID-19 cases in the area, Miyamura High School is being utilized as an additional hospital. Considering this information, McKinley County and the Navajo Nation will likely experience significant effects from the COVID-19 pandemic.

The mayor of Grants has allowed businesses to open in the city against the governor’s orders.

## NEIGHBORHOOD DESCRIPTION

In the context of appraisal practice, a neighborhood is defined as "a group of complementary land uses; a congruous grouping of inhabitants, buildings, or business enterprises," (*The Dictionary of Real Estate Appraisal, 6<sup>th</sup> Edition, Page 156*). For purposes of this report the broader neighborhood is defined as the Prewitt, the Village of Milan and its outskirts.

Prewitt is an unincorporated community in McKinley County. The subject sits just outside Prewitt in Cibola County.

**Linkage** – The subject is approximately four miles north of Interstate 40. NM 19 runs north and south through Prewitt. The interstate provides regional linkage to the east and west.

**Planning** – The *Cibola County Comprehensive Plan* was adopted in January 2015, and it governs land use at the county level. The county does not currently have a planning and zoning department. Thus, there is no formal zoning at the county level, but there are subdivision regulations and permits are required to build in a flood zone. Prewitt does not have any zoning in place.

**Immediate Area Land Use** – The immediate area is rural residential in character. The majority of the land surrounding the subject is undeveloped.

## DESCRIPTION OF REAL ESTATE APPRAISED

**Location** – The maps presented in the Preface show the location of the subject within Cibola County, and near Prewitt, New Mexico. The subject is located on the west side of NM 19, northwest of Old Landfill Road. The maps presented in the *Preface* identify the location of the subject.

**Legal Description** – The subject site is legally identified as follows:

*Portions of Sections 35 and 36: Township 12 North, Range 14 West, and portion of Section 2.*

**Topography & Soils** – The subject site appears to be at street grade NM 19 and is mostly level. Absent a soil analysis, the soil bearing capacity is assumed to be adequate. However, no warranty is made to this effect (see *Environmental Statement* forthcoming).

**Zoning** – The subject is in an unincorporated area of Cibola County and does not have any zoning.

**Flood Zone** – The subject site is located on Flood Insurance Rate Map 35031C2050E, dated February 17, 2010. The subject site is located in unshaded zone X. Areas in unshaded zone X are areas of minimal flood hazard.

**Easements/Encroachments** – No apparent adverse easements were noted or assumed that would negatively affect the marketability of the subject site. This assumption is subject to a current legal survey and title search of the property.

**Access & Visibility** – The site is accessible via the west side of NM 19. The site has average visibility from the arterial.

**Utilities** – All public utilities including electricity, gas, water, sewer and telephone services are in the neighborhood and near the subject. According to the client (Wilson & Company, Inc., Engineers & Architects) there is a power line on the subject site.

**Site Shape & Size** – According to information provided by the client, the subject site is irregular in shape and contains 625.85 acres, or 27,262,048 square feet (subject to survey). The subject's borders and size were defined by the client.

**Real Estate Taxes** – The subject property is taxed by the authority of Cibola County under the account number R11540. The subject site is assessed with other surrounding properties. Due to the nature of ownership, the subject is exempt from property taxes. Based on the conclusion of market value derived in this appraisal report, the subject is under assessed, which is not unusual in Cibola County.

**ENVIRONMENTAL STATEMENT**

No apparent or obvious signs of hazardous materials were noted. Hazardous materials may or may not be present on the subject property, but we are not qualified to detect such substances. The presence of substances such as asbestos, urea formaldehyde foam insulation, leaking oil or gas tanks, or other potentially hazardous materials may affect the value of the property. The opinion of value is predicated on the assumption that there is no such material on or in the property that would cause a loss in value. No responsibility is assumed for any such conditions or for any expertise or engineering knowledge required to discover them. The client is urged to retain an expert in these fields, if so desired.

**HIGHEST & BEST USE HIGHEST & BEST USE ANALYSIS**

Alternatively, it is the most profitable likely use to which a property can be developed. An additional implication is that the determination of highest and best use results from our judgment and analytical skills, and that the use determined from this analysis represents an opinion, not necessarily a fact to be found. In appraisal practice, the concept of highest and best use represents the premise upon which value is based.

**HIGHEST & BEST USE AS VACANT**

Based on the four highest and best use criteria (legally permissible, physically possible, financially feasible, and maximally productive), it is our opinion that given current market conditions and supply and demand relationships, the highest and best use for the property as vacant, would be for agricultural development. The design, utility, and specific improvements would be dictated by the needs of the user.

**SUMMARY OF ANALYSIS & VALUATION**

**SALES COMPARISON APPROACH**

An in-depth search was conducted for vacant site sales and listings in the subject's area which exhibit similar locational and physical characteristics to the subject site. Adjustments have been made to the comparable sales based on dissimilarities compared to the subject. Upward adjustments have been made to the sales for inferior characteristics, while downward adjustments have been made for superior characteristics. Following is a detailed summary identifying the most recent sales determined to be most comparable for our analysis.

Chart of Comparable Vacant Land Sales							
Property ID	Subject	Sale 1	Sale 2	Sale 3	Sale 4	Sale 5	Listing 1
		902278	903507	880699	879623	879625	909598
Address	625.85 Acres west of NM 19	Laguna 117	Tract 7, James Valley	Lot 8, Red Canyon Ranches	Lot 6, Red Canyon Ranches	Lot 7, Red Canyon Ranches	Lots 6, 11, 12, Chimney Rock Ranch
City	Prewitt	Laguna	Grants	Prewitt	Prewitt	Prewitt	Prewitt
Sale Date		Oct-18	Jan-18	Jul-17	Jun-17	Jun-17	
Sale Price		\$80,000	\$52,000	\$115,000	\$65,500	\$79,000	\$185,000
Site Position	Interior	Interior	Interior	Interior	Interior	Interior	Interior
Topography	Mostly Level	Mostly Level	Slightly Rolling	Terraced	Terraced	Terraced	Slightly Rolling
Zoning	None	A-1	R-1	A-1	A-1, R-1	A-1, R-1	A-2, R-2
Use		Speculative	Speculative	Speculative	Speculative	Speculative	Speculative
Utilities	Near Site	None	None	None	None	Well on site	None
Site Area (AC)	625.8500	117.3900	50.8300	140.6100	140.0000	140.0000	191.0000
Site Area (S F)	27,262,048	5,113,508	2,214,155	6,124,972	6,098,400	6,098,400	8,319,960
Sale Price/Acre		\$681	\$1,023	\$818	\$468	\$564	\$969
Property Rights	-	0%	0%	0%	0%	0%	0%
		<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>
Adjusted Price/SF	-	\$681	\$1,023	\$818	\$468	\$564	\$969
Financing Terms	-	0%	0%	0%	0%	0%	0%
		<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>
Adjusted Price/AC	-	\$681	\$1,023	\$818	\$468	\$564	\$969
Conditions of Sale	-	0%	0%	0%	0%	0%	-15%
		<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>	<u>-\$145.29</u>
Adjusted Price/SF	-	\$681	\$1,023	\$818	\$468	\$564	\$823
Expenditures	-	0%	0%	0%	0%	0%	0%
		<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>
Adjusted Price/SF	-	\$681	\$1,023	\$818	\$468	\$564	\$823
Market Conditions	-	0%	0%	0%	0%	0%	0%
		<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>
Adjusted Price/AC	-	\$681	\$1,023	\$818	\$468	\$564	\$823
			Property Adjustments				
Location	-	0%	0%	0%	0%	0%	0%
Physical							
Size	-	-10%	-20%	-10%	-10%	-10%	-10%
Utilities	-	0%	0%	0%	0%	0%	0%
Topography	-	0%	5%	10%	10%	10%	5%
Zoning	-	0%	0%	0%	0%	0%	-20%
Net Property Adj.	-	-10%	-15%	0%	0%	0%	-25%
		<u>-\$68</u>	<u>-\$153</u>	<u>\$0</u>	<u>\$0</u>	<u>\$0</u>	<u>-\$206</u>
Adjusted Price/Ac	-	\$613	\$870	\$818	\$468	\$564	\$617



**ANALYSIS OF SALES**

**Real Property Rights Conveyed**

All sales represent the transfer of fee simple interests, and as such, adjustments for real property rights conveyed are not warranted.

**Financing Terms**

The sales represent cash equivalent transactions. Adjustments for financing terms are not warranted.

**Conditions of Sale**

All of the sales were reported to be arm's-length transactions with no distress conditions evident. Listings typically sell for less than their asking price. As such, Listing 1 was adjusted downward by 15%.

**Market Conditions (Time)**

All of the sales are sufficiently recent to represent current market conditions. No adjustments are necessary.

**Location Characteristics**

Location refers to arterial linkage, access, frontage, traffic volume, and surrounding developments. The sales all have similar locations in rural areas like the subject.

**Physical Characteristics**

Size, utilities, topography, and zoning are primary components in analysis of physical characteristics of the tracts as they compare to the subject.

**Size:** Due to economies of scale, smaller sites tend to sell for more per square foot than larger sites. Sales 1, 3, 4, 5, and Listing 1 are all much smaller than the subject and were adjusted downward by 10% each. Sale 2 is significantly smaller than the subject and was adjusted downward by 20%.

**Utilities:** The subject and Sales 1, 2, 3, 4, and Listing 1 all have utilities near the sites; thus, no adjustments were made. Sale 5 has a well on the site; however, no adjustment is evident for utilities.

**Topography:** The subject has mostly level topography. Sale 2 and Listing 1 have slightly rolling topography and were adjusted upward by 5% each. Sales 3, 4, and 5 have terraced topography and were adjusted upward by 10% each.

**Zoning:** The subject site does not have any zoning. No adjustment is evident under this category.

**Conclusion**

The sales and listing present a range from \$468 to \$870 per acre, with a mean of \$658, a median of \$615, and a midpoint of \$669. Based on the locational and physical characteristics of the subject, we estimate a value of \$625 per acre.

**PRICE PER SQUARE FOOT METHOD**

Total Site Area	625.85 Acres
Price Per Acre	<u>\$625/Acre</u>
Indicated Value	\$391,156
Rounded to	\$390,000

**Sales Comparison Approach**

**“As Is” Opinion of Fee Simple Market Value**

**April 27, 2020**

**\$390,000**



**FINAL RECONCILED OPINION OF MARKET VALUE**

As previously mentioned, the client requested we value the site "as if vacant". Thus, only the Sales Comparison Approach was utilized. The Income Capitalization Approach is not applicable to the property as we were appraising the site as though vacant. The Cost Approach is not generally applicable in valuation of a property with no site or building improvements.

There were sufficient, recent, similar sales for a strong Sales Comparison Approach. A reasonably tight range of values was indicated. The data presented within the Sales Comparison Approach was considered extremely strong for analysis of the subject, and definitely provides a good indication of what buyers are willing to pay for vacant sites. From our analysis, we conclude the following opinion of market value for the subject property:

**"As Is" Opinion of Fee Simple Market Value****April 27, 2020****\$390,000****EXPOSURE & MARKETING TIME**

We estimate the exposure time (i.e., the length of time the subject property would have been exposed for sale in the market had it sold at the market value concluded in this analysis as of the date of this valuation) to be one to two years. The estimated marketing time (i.e., the amount of time it would probably take to sell the subject property if exposed in the market beginning on the date of this valuation) is also estimated to be one to two years.

**ADDENDA**

◆◆◆ **Exhibit A** ◆◆◆  
**Certification**

We certify that, to the best of my knowledge and belief:

- The statements of fact contained in this report are true and correct.
- The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions, and are our personal, impartial, and unbiased professional analyses, opinions and conclusions.
- We have no present or prospective interest in the property that is the subject of this report, and have no personal interest with respect to the parties involved.
- We have no bias with respect to the property that is the subject of this report, or to the parties involved with this assignment.
- Our engagement in this assignment was not contingent upon developing or reporting predetermined results.
- Our compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
- The reported analyses, opinions and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics & Standards of Professional Appraisal Practice of the Appraisal Institute, which include the Uniform Standards of Professional Appraisal Practice.
- The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.
- Jamie Ridley (license #03335-A) provided significant real property appraisal assistance to the persons signing this certification. Ms. Ridley researched the history of the subject, comparable sales, and comparable rental rates, and assisted in the valuation in this report.
- As of the date of this report, Shane LeMon and Kathleen E. Burmeister have completed the continuing education program for the Designated Members of the Appraisal Institute.
- As of the date of this report, Shane LeMon and Kathleen E. Burmeister have completed the continuing education program for the State of New Mexico.
- We have performed no other services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.

Respectfully submitted,

*AMERICAN PROPERTY - Consultants & Appraisers, Inc.*



Shane LeMon, MAI, CCIM  
NM General Certified Appraiser #00193-G



Kathleen E. Burmeister, MAI  
NM General Certified Appraiser #03025-G

◆◆◆ **Exhibit B** ◆◆◆  
**Assumptions &  
Limiting Conditions**

The certification of the appraisers appearing in this appraisal report is subject to the following assumptions and limiting conditions:

1. This report is intended to comply with the reporting requirements set forth under Standard Rule 2-2(a) of the Uniform Standards of Professional Appraisal Practice for an Appraisal Report. Supporting documentation concerning the data, reasoning, and analyses is retained in the appraisers' file. The information contained in this report is specific to the needs of the client and for the intended use stated in this report. We are not responsible for unauthorized use of this report.
2. This report is an appraisal of the real estate only, with no consideration to the value of the liquor license, business enterprise, fixtures, furnishings or equipment.
3. No responsibility is assumed for the legal description or for matters including legal or title considerations. Title to the property is assumed to be good and marketable unless otherwise stated.
4. The property is appraised free and clear of any or all liens or encumbrances unless otherwise stated.
5. Responsible ownership and competent property management are assumed.
6. The information furnished by others is believed to be reliable. However, no warranty is given for its accuracy.
7. All engineering is assumed to be correct. The plot plans and illustrative material in this report are included only to assist the reader in visualizing the property.
8. It is assumed that there are no hidden or unapparent conditions of the property, subsoil, or structures that render it more or less valuable. No responsibility is assumed for such conditions or for arranging for engineering studies that may be required to discover them.
9. It is assumed that there is full compliance with all applicable federal, state, and local environmental regulations and laws unless noncompliance is stated, defined, and considered in the appraisal report.
10. It is assumed that all applicable zoning and use regulations and restrictions have been complied with, unless a nonconformity has been stated, defined, and considered in the report.
11. It is assumed that all required licenses, certificates of occupancy, consents, or other legislative or administrative authority from any local, state, or national government or private entity or organization have been or can be obtained or renewed for any use on which the value estimate contained in this report is based.
12. It is assumed that the utilization of the site and improvements is within the boundaries or property lines of the property described and that there is no encroachment or trespass unless noted in the report.
13. Possession of this report, or a copy thereof, does not carry with it the right of publication.
14. The appraisers, by reason of this appraisal, are not required to give further consultation or testimony, or be in attendance in court, with reference to the property in question unless arrangements have been previously made.
15. Neither all nor any part of the contents of this report (especially any conclusions as to value, the identity of the appraisers, or the firm with which the appraisers are connected) shall be disseminated to the public through advertising, public relations, news, sales, or other media without prior written consent and approval from the appraisers.
16. The forecasts, projections, or operating estimates contained herein are based upon current market conditions, anticipated short-term supply and demand factors, and a continued stable economy. These forecasts are, therefore, subject to changes in future conditions.

17. Any value estimates provided in the report apply to the entire property, and any proration or division of the total into fractional interests will invalidate the value estimate, unless such proration or division of interests has been set forth in the report.
18. Unless otherwise stated in this report, the existence of hazardous material, which may or may not be present on the property, but was not observed by the appraisers. The appraisers have no knowledge of the existence of such materials on or in the property. The appraisers, however, are not qualified to detect such substances. The presence of substances such as asbestos, urea-formaldehyde foam insulation or other potentially hazardous materials may affect the value of the property. The value estimate is predicated on the assumption that there is no such material on or in the property that would cause a loss in value. No responsibility is assumed for any such conditions, or for any expertise or engineering knowledge required to discover them. The client is urged to retain an expert in this field, if desired.

**◆◆◆ Exhibit C ◆◆◆**  
**Qualifications**  
**of the Appraisers**

**SHANE LeMON, MAI, CCIM**

**PROFESSIONAL ASSOCIATIONS**

Member of the Appraisal Institute: MAI No. 8662  
State of New Mexico General Certified Real Estate Appraiser: #193-G  
Individual Member of the Commercial Investment Real Estate Institute: CCIM No. 8029  
State of New Mexico Licensed Broker: License No. 13725 I (Curtis Shane LeMon)  
President of the FBI Citizens' Academy of New Mexico (2014-2015, 2017)  
President of the Rotary Club of Albuquerque (2004/2005)  
Chairman of the Board - Better Business Bureau of New Mexico & SW Colorado (2006/2007, 2017/2018); Board member since 2002  
President - New Mexico Corvette Association (2002 & 2007)  
President - Interstate Commerce Industrial Center (2007 - 2018)

**PROFESSIONAL EXPERIENCE**

President  
American Property - Consultants & Appraisers, Inc., Albuquerque, New Mexico Office, March 1990 to Present  
President  
Estate Valuation Consultants, Inc., Albuquerque, New Mexico Office, December 2002 to Present  
President  
BPOxpress, Inc., Albuquerque, New Mexico Office, 2015 to Present  
Fee Appraiser  
Stiebler & Associates, Albuquerque, NM, April 1985 to February 1990  
Stiebler, Smith & Assoc., Albuquerque, NM, June 1984 to March 1985  
Tax Accountant  
Deloitte, Haskins & Sells, Albuquerque, NM, January 1983 to May 1984

**SPECIALIZED APPRAISAL EXPERIENCE**

Since June 1984, Mr. LeMon has served as a fee appraiser concentrating in the following areas:

Hotels & motels	Vacant Land	Condominiums	Right-of-way
Multi-family residences	Office buildings	Industrial buildings	Farm & ranch
Retail Centers	Aircraft facilities	Restaurants	Special use properties
Car washes	Movie Theaters	Subdivisions	Golf courses

**EDUCATION**

University of Albuquerque, 1984; Accounting  
Albuquerque Technical-Vocational Institute, 1980-1982; Business Management/Accounting  
University of New Mexico, 1976-1980; Civil Engineering/Accounting

**American Institute of Real Estate Appraisers Courses:**

2; Standards of Professional Practice; 7/85  
1A-1; Real Estate Appraisal Principles; 9/86  
1B; Capitalization Theory & Techniques Part B; 9/87  
1B-A; Capitalization Theory & Techniques Part A; 2/87  
1A-2; Basic Valuation Procedures; 3/87  
2-1; Case Studies in Real Estate Valuation; 3/88  
2-2 Valuation Analysis & Report Writing; 6/88  
MAI Comprehensive Examination; 8/89

**New Mexico Real Estate Institute / KAPLAN Courses:**

Real Estate Law; 2/96  
Real Estate Practice; 2/96  
Real Estate Broker Basics; 3/96  
Real Estate Appraisal; 4/96  
Real Estate Finance; 5/96  
Real Estate Math; 5/96  
NM Broker Examination; 6/96  
NM Real Estate Commission - Mandatory; Albuquerque, New Mexico: 7/99, 4/02, 7/04, 11/07, 7/11, 4/14, 5/16  
NM Advance Map Reading & Surveys; 8/05 - Albuquerque, New Mexico

NM Decision Making with the HP-10B Calculator; 9/05 - Albuquerque, New Mexico  
NM Qualifying Broker Refresher Course; 12/07, 9/11, 5/14, 5/17 - Albuquerque, New Mexico  
Leasing and Managing Residential Real Estate; 7/11 - Albuquerque, New Mexico  
Successful Business Planning; 8/11 - Albuquerque, New Mexico  
Negotiating and Completion of an Exchange; 8/11, 4/14 - Albuquerque, New Mexico  
Understanding Residential Real Estate Investments; 3/14 - Albuquerque, New Mexico  
Business Ethics in Real Estate; 10/15, 4/18 - Albuquerque, New Mexico  
Property Management Essentials; 4/17 - Albuquerque, New Mexico  
2017 NMREC Core Course A; 5/17 - Albuquerque, New Mexico  
ANSI Square Footage Method of Measuring; 6/17 - Albuquerque, New Mexico  
Real Estate & Taxes: What Ever Agent Should Know; 6/17 - Albuquerque, New Mexico  
Easements and Access for the Non-lawyer; 7/17 - Albuquerque, New Mexico  
Property Red Flags; 8/17 - Albuquerque, New Mexico  
Mechanic's Liens: Law & Strategy; 8/17 - Albuquerque, New Mexico  
Solar PV Value? Questions to Ask; 8/17 - Albuquerque, New Mexico  
2018 NMREC Core Course B; 11/18 - Albuquerque, New Mexico  
2019 NMREC Core Course C; 12/19 - Albuquerque, New Mexico  
Surveys from A to Z; 2/20 - Albuquerque, New Mexico  
Legal Descriptions & Survey Maps; 3/20 - Albuquerque, New Mexico

**Commercial Investment Real Estate Institute**

CI 101 - Financial Analysis for Commercial Investment Real Estate; 8/97 - Albuquerque, New Mexico  
CI 201 - Market Analysis for Commercial Investment Real Estate; 2/98 - Albuquerque, New Mexico  
CI 301 - Decision Analysis for Commercial Investment Real Estate; 5/98 - Albuquerque, New Mexico  
CI 408 - Core Concepts Review - CCR; 6/98 - San Diego, California  
Comprehensive Examination; 6/98 - San Diego, California  
NAR Code of Ethics; 7/11, Albuquerque, New Mexico  
Business Ethics in Real Estate 10/12, 10/15, 4/18 - Albuquerque, New Mexico

**CONTINUING EDUCATION - Appraisal Related**

**American Institute of Real Estate Appraisers / Appraisal Institute**

Standards of Professional Practice Update; 6/89 - Santa Fe, New Mexico  
Reviewing Appraisals; 10/90 - Santa Fe, New Mexico  
Accrued Depreciation; 1/91 - El Paso, Texas  
Hotel/Motel Valuation Seminar; 6/91 - Dallas, Texas  
Preparation and Use of the U.C.I.A.R. Form; 10/91 - Dallas, Texas  
FHWA Course #14126; 12/91 - Santa Fe, New Mexico  
Appraising Troubled Properties; 1/92 - El Paso, Texas  
The Appraiser's Legal Liabilities; 9/92 - Las Cruces, New Mexico  
Appraisal Regulations of the Federal Banking Agencies; 3/93 - Albuquerque, New Mexico  
Standards of Professional Practice, Parts A & B; 4/93 - Albuquerque, New Mexico  
Appraisal Office of the Future; 2/94 - San Diego, California  
Understanding Limited Appraisals; 6/94 - Los Angeles, California  
Fair Lending and the Appraiser; 4/95 - Las Cruces, New Mexico  
Course 520; Highest & Best Use and Market Analysis; 9/97 - Phoenix, Arizona  
Small Hotel/Motel Valuation Seminar; 9/98 - Ruidoso, New Mexico  
Standards of Professional Practice, Part A (USPAP); 6/99 - Albuquerque, New Mexico  
Standards of Professional Practice, Part B; 6/99 - Albuquerque, New Mexico  
Valuation of Detrimental Conditions; 9/99 - Albuquerque, New Mexico  
Real Estate Fraud; 1/01 - Albuquerque, New Mexico  
Report Writing & Valuation Analysis; 6/01 - San Diego, California  
General Applications; 10/01 - Salt Lake City, Utah  
USPAP Course 401; 3/03 - Albuquerque, New Mexico  
Rates and Ratios: Making Sense of GIMs, OARs and DCF; 7/04 - Albuquerque, New Mexico  
USPAP Update Course 400; 1/05 - El Paso, Texas  
Site to Do Business; 10/05 - Albuquerque, New Mexico  
What Clients Would Like Their Appraisers to Know; 10/05 - Albuquerque, New Mexico  
FHA and the New Residential Appraisal Form; 1/06 - Albuquerque, New Mexico  
Subdivision Valuation Seminar; 4/06 - Santa Fe, New Mexico  
Appraisal Consulting; A Solutions Approach for Professionals; 7/06 - Albuquerque, New Mexico  
USPAP Course; 11/06 - Albuquerque, New Mexico

Business Practices & Ethics; 12/06 – Albuquerque, New Mexico  
 Cool Tools: New Technology for Real Estate Appraisers; 10/07 – Albuquerque, New Mexico  
 USPAP Course; 1/08 – Albuquerque, New Mexico  
 Office Valuation: A Contemporary Perspective 1/08 – Albuquerque, New Mexico  
 An Introduction to Valuing Green Buildings 9/08 – Albuquerque, New Mexico  
 Appraisal Tools Tune-Up 10/09 – Ruidoso, New Mexico  
 Appraising in 2009 10/09 – Ruidoso, New Mexico  
 Appraisal in Litigation 10/09 – Ruidoso, New Mexico  
 Appraising the Appraisal Business 10/09 – Ruidoso, New Mexico  
 Uniform Appraisal Standards for Federal Land Acquisitions 12/09 – Albuquerque, New Mexico  
 USPAP Course; 1/10 – Albuquerque, New Mexico  
 Business Practice & Ethics; 9/10 – Albuquerque, New Mexico  
 The Lending World in Crisis – What Clients Need Their Appraisers to Know Today; 11/10 – Albuquerque, New Mexico  
 Appraisal Review Seminar – General; 1/11 – Albuquerque, New Mexico  
 IRS Seminar: Conservation Easements & Your Taxes; 6/11 – Albuquerque, New Mexico  
 Appraisal Curriculum Overview (2-Day General); 9/11 – Albuquerque, New Mexico  
 Real Estate Finance, Value and Investment Performance; 10/11 – Albuquerque, New Mexico  
 Supervisor/Trainee Class – NM Real Estate Appraisers Board; 1/12 – Santa Fe, New Mexico  
 2012-2013 USPAP Course; 1/12 – Albuquerque, New Mexico  
 Evaluating Commercial Construction (2 days); 9/12 – Albuquerque, New Mexico  
 Practical Regression Using Microsoft Excel (2 days); 10/12 – Albuquerque, New Mexico  
 Fundamentals of Separating Real Property, and Intangible Business Assets (SBA Required) (2 days); 6/13 – Albuquerque, New Mexico  
 Supervisor/Trainee Class – NM Real Estate Appraisers Board; 12/13 - Albuquerque, New Mexico  
 Business Practices & Ethics; 1/14 – Albuquerque, New Mexico  
 2014-2015 USPAP Course; 1/14 – Albuquerque, New Mexico  
 Litigation Appraising: Specialized Topics & Applications; 10/14 – Ruidoso, New Mexico  
 NM Real Estate Appraisers Board Mandatory Renewal Class; 12/15 – Albuquerque, New Mexico  
 Business Practices & Ethics; 2/16 – Albuquerque, New Mexico  
 2016-2017 National USPAP Update Course; 2/16 – Albuquerque, New Mexico  
 Condemnation Appraising: Principles & Applications; 10/16 – Albuquerque, New Mexico  
 Contract or Effective Rent: Finding the Real Rent; 11/17 – Albuquerque, New Mexico  
 Examining Property Rights and Implications in Valuation; 11/17 – Albuquerque, New Mexico  
 2018-2019 National USPAP Update Course; 12/17 – Albuquerque, New Mexico  
 Business Practices & Ethics; 2/18 – Albuquerque, New Mexico  
 Supervisory Appraiser/Trainee Appraiser Course; 3/18 – Albuquerque, New Mexico (online)  
 Integrated Development Ordinance (IDO) Training; 5/18 – Albuquerque, New Mexico  
 Residential and Commercial Valuation of Solar; 1/19 – Albuquerque, New Mexico  
 Integrated Development Ordinance Training; 5/18 – Albuquerque, New Mexico  
 2020-2021 National USPAP Update Course; 1/20 – Albuquerque, New Mexico

**COURT TESTIMONY – Appraisal Related**

Mr. LeMon has provided his services as an Expert Witness in a variety of courts in New Mexico since 1990. He has been involved in litigation for over 50 cases involving real estate found in various areas of the state. Most often he provides secondary appraisal services, deposition testimony, and on a few occasions when cases are not settled out of court, court testimony.



## Commercial Investment Real Estate Institute

An Affiliate of the NATIONAL ASSOCIATION OF REALTORS®


By election of the Governing Council has designated

Shane LeMon

as a

CERTIFIED COMMERCIAL INVESTMENT MEMBER



  
Dewey Struble, CCIM  
1998 President

CERTIFICATE NO. 8029

June 10, 1998

## KATHLEEN E. BURMEISTER, MAI BACKGROUND AND EXPERIENCE

### PRESENT POSITION

Vice President, Dominion Property Advisors, Albuquerque, New Mexico 2005-present  
Associate, American Property Consultants & Appraisers, Inc., Santa Fe, New Mexico

### CONTACT INFORMATION

505.688.8789 – Cell  
kathleenm@dominionproperty.com  
kathleenmclb@gmail.com

### EDUCATION

Bachelor of Science-Biology and Earth and Planetary Sciences  
University of New Mexico, Albuquerque, NM 87131  
Master of Business Administration-Marketing and International Business  
University of New Mexico, Albuquerque, NM 87131  
Bilingual

### REAL ESTATE COURSE WORK

Uniform Standards of Professional Appraisal Practice  
Advanced Land Valuation: Sound Solutions to Perplexing Problems  
Contract or Effective Rent: Finding the Real Rent  
Examining Property Rights and Implications in Valuation  
Analyzing Operating Expenses  
Advanced Spreadsheet Modeling for Valuation Applications  
Introduction to the Appraisal Profession Appraisal Techniques  
Real Property Interest & Legal Descriptions for Appraisers  
How to Use the Uniform Residential Appraisal Report  
Basic Income Capitalization  
Advanced Income Capitalization  
General Appraiser Market Analysis and Highest and Best Use  
Appraisal of Nursing Home Facilities  
Business Practice and Ethics  
Introduction to Valuing Commercial Green Buildings  
Advanced Internet Search Strategies  
Advanced Concepts & Case Studies  
General Appraiser Report Writing and Case Studies  
Comprehensive Examination Preparation Courses

### ACADEMIC POSITIONS

Research Assistant/Instructor, Graduate Assistant, Anderson School of Business, University of New Mexico 2001-2002  
Research Assistant, Earth and Planetary Sciences Department, University of New Mexico 1997-1999  
Research Assistant MBRS, School of Medicine, University of New Mexico, 1996-1999

### EXPERIENCE

Kathleen Mc Leroy has worked on various commercial appraisal assignments located throughout New Mexico and Colorado. Ms. McLeroy has worked independently and with various MAI

designated appraisers. She has shown a superior aptitude for commercial appraisal as a result of an intense workload often involving complex properties with unique components of value. Clients served included individuals, Fortune 500 corporations, banks and other lending institutions, government agencies, life insurance companies and attorneys. Estates appraised included fee simple, leased fee, leasehold and subleasehold. Property types include the following:

Office Buildings – Professional, Medical and Dental  
Retail Buildings – Freestanding, Strip and “Big Box”  
Multi-Family Residential Apartment Properties  
LIHTC Apartment Properties  
Storage Yards  
Light Industrial Properties - Office/Warehouses, Distribution Warehouses  
Assisted Living, Nursing Home and Special Care Facilities  
Vacant Land – Commercial, Residential, Agricultural, Ground Lease  
Section 8 Apartments  
Houses of Worship  
Single Family Residential Subdivisions  
Hotels– Limited and Full Service  
Bed & Breakfast Facilities (Rural and Urban)  
Gas Station & Convenience Stores  
Mortuaries and Cemeteries

**AFFILIATIONS**

Member, Appraisal Institute-MAI  
Rio Grande Chapter of the Appraisal Institute - President (2018)  
LDAC - 2017  
NM General Certified Real Estate Appraiser (No. 03025-G)  
Hispanic MBA Association  
Marketing Association  
Honors Graduate  
Golden Key National Honor Society  
SPURS, Honor Society  
Deans List  
American Geological Institute Scholar

**Prior Professional Experience** 2003-2005  
Assistant General Manager/General Manager  
Mastro’s Corporation, Albuquerque, NM

**Responsibilities:**

Managed a staff of + 60 Employees. Assisted with payroll, inventory controls, purchasing, ordering, accounting, marketing and financing for a restaurant with gross annual sales of + \$3,000,000. Organized public events for + 8000 people which consist of one of the major events ever done by a private organization in downtown Albuquerque





**Jamie L. Ridley**

**PROFESSIONAL ASSOCIATIONS**

State of New Mexico Registered Real Estate Apprentice Appraiser: No. 03335-A

**PROFESSIONAL EXPERIENCE**

Associate  
American Property – Consultants & Appraisers, Inc., Albuquerque, New Mexico; October 2013 to Present

Associate  
Estate Valuation Consultants, Inc., Albuquerque, New Mexico; October 2013 to Present

New Mexico Works, Los Lunas, New Mexico; June 2011 to October 2013

State of New Mexico, Human Services Department, Belen, New Mexico; August 2008 to June 2011

**EDUCATION**

University of New Mexico, Bachelor of Arts in Communication; 2007

**APPRAISAL EDUCATION**

***Appraisal Institute courses:***

General Appraiser Sales Comparison Approach; 10/14 – Aurora, Colorado  
Real Estate Finance Statistics and Valuation Modeling; 11/15 – San Diego, California  
General Appraiser Income Approach Part 1; 4/16 – Aurora, Colorado  
General Appraiser Income Approach Part 2; 5/16 – Aurora, Colorado  
General Appraiser Site Valuation and Cost Approach; 3/17 – Austin, Texas  
Integrated Development Ordinance (IDO) Training; 5/18 – Albuquerque, New Mexico  
General Appraiser Market Analysis and Highest and Best Use; 8/18 – Aurora, Colorado

***Other appraisal courses:***

Basic Appraisal Principles; 10/13 – Albuquerque, New Mexico  
Basic Appraisal Procedures; 10/13 – Albuquerque, New Mexico  
USPAP (15-hour); 10/13 – Albuquerque, New Mexico  
USPAP (7-hour update), 1/15 – Albuquerque, New Mexico  
State of New Mexico Mandatory Update Course, 2/15  
USPAP (7-hour update), 3/17 – Albuquerque, New Mexico  
USPAP (7-hour update), 1/19 – Albuquerque, New Mexico



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## Appendix F – Building Permit Application & Checklist

**Prewitt Industrial Park**  
MASTER PLAN AND PRELIMINARY DESIGN



**WILSON & COMPANY**  
HIGHER RELATIONSHIPS

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The following pages contain forms and checklists related to approval of construction projects in McKinley County and in the State of New Mexico. While McKinley County does not require building permits for construction, it does require a Subdivision Improvement Agreement (SIA), laying out responsibility for construction of different infrastructure related to a proposed development. These are provided to prospective developers as they begin navigating the process of developing within the industrial park.

The documents on the following pages are the following:

1. Draft McKinley County Subdivision Improvements Agreement (SIA)
2. Building Permit Guide for Commercial Construction – Construction Industries Division, Regulation and Licensing Department, State of New Mexico (page 6 of this appendix)
3. Multi-Purpose State Building Application – Regulation and Licensing Department, State of New Mexico (page 7 of this appendix)

Figure 1

Nearest Major Streets: \_\_\_\_\_  
No. of Parcel: \_\_\_\_\_

**SUBDIVISION IMPROVEMENTS AGREEMENT PUBLIC AND/OR PRIVATE**

**AGREEMENT TO CONSTRUCT  
PUBLIC AND/OR PRIVATE DEVELOPMENT IMPROVEMENTS**

THIS AGREEMENT is made this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by and between the McKinley County, New Mexico ("County"), a political sub-division, whose address is 207 W. Hill Ave., Gallup, NM 87305, and \_\_\_\_\_ ("Developer"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:], \_\_\_\_\_, whose address is \_\_\_\_\_ and whose telephone number is \_\_\_\_\_, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Developer is developing certain lands within Prewitt, McKinley County, New Mexico, known as [existing legal description:] \_\_\_\_\_, recorded on \_\_\_\_\_ in Book \_\_\_\_\_, pages \_\_\_\_\_ through \_\_\_\_\_, as Document No. \_\_\_\_\_ in the records of the McKinley County Clerk, State of New Mexico (the "Subdivision"). The Developer certifies that the Parcel is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] \_\_\_\_\_ ("Owner").

The Developer has submitted and the County has approved a preliminary Site Development Plan identified as \_\_\_\_\_ describing Developer's Property ("Developer's Property").

As a result of the development of the County's Subdivision, the Subdivision Ordinance ("S.O.") requires the Developer, at no cost to the County, to install certain public and/or private improvements, which are reasonably related to the development of the Parcel, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final building permit or the Site Development Plan for the Parcel.

2. Improvements and Construction Deadline. The Developer agrees to install and complete the public and/or private improvements described in **Exhibit A**, the required infrastructure listing ("Improvements"), to the satisfaction of the County, on or before the \_\_\_\_\_, 20\_\_\_\_, ("Construction Completion Deadline"), at no cost to the County. The Improvements are shown in greater detail on the Developer's proposed and approved plans, which have been filed with the County's Engineer and are identified as Project No. \_\_\_\_\_.

County Clerk's Recording Label

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Developer meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Developer may obtain an extension of the Construction Completion Deadline if Developer shows adequate reason for the extension.

3. Work Order Requirements. The County agrees to issue a Work Order after:

A. The Developer causes to be submitted all documents, and meets all requirements listed **Exhibit A**, including submitting a Certificate of Insurance in a form acceptable to the County. The certificate must establish that the Developer has procured, or has caused to be procured, public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Site Development, the Improvements, or the Developer's construction activities within, or related to the Developer's Project. The insurance policy must name the McKinley County, its employees and elected officials, as their interest may appear, as additional insured. The Developer must maintain the insurance until the County accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail thirty (30) days written notice to the County, attention County Engineer.

B. The Developer complies with all applicable laws, ordinances and regulations, and pays the following required engineering, staking, testing fees, and other related County fees and County Clerk recording fees:

Type of Fee	Amount
Engineering Review and Project Oversight Fee	3.25%

Note: The Developer must pay the County all County fees which have been incurred during construction before the County will accept the public Improvements.

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by \_\_\_\_\_, and construction surveying of the private Improvements shall be performed by \_\_\_\_\_. If the construction surveying is performed by an entity other than the County, the County may monitor the construction surveying and the Developer shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the County which the County requires for review. Record drawings shall be provided by the entity

performing the survey.  
The Developer shall pay the County a reasonable fee for any construction surveying performed by the County.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by \_\_\_\_\_ and inspection of the private Improvements shall be performed by \_\_\_\_\_, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the County, the County may monitor the inspection and the Developer shall ensure that the inspecting entity provides all inspection results, reports and related data to the County which the County requires for review. The County retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the County Engineer. The Developer shall pay the County a reasonable fee for the level of inspection performed by the County.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by \_\_\_\_\_, and field testing of the private Improvements shall be performed by \_\_\_\_\_ both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current McKinley County Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the County, the County may monitor the field testing and the Developer shall ensure that the field testing entity provides all field testing results, reports and related data to the County which the County requires for review. The Developer shall pay the County a reasonable fee for any field testing performed by the County.

D. Additional Testing. The County retains the right to perform all additional testing which the County Engineer deems is necessary or advisable, and the Developer shall pay the County a reasonable fee therefore.

5. Financial Guaranty. If final Construction Plan approval is requested, the Developer must provide the County with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the County Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit, or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all County requirements. The County must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the County's development agreement requirements, the Developer has acquired, or is able to acquire, the following Financial Guaranty:

Type of Financial Guaranty: \_\_\_\_\_

Amount: \$ \_\_\_\_\_

Name of Financial Institution or Surety providing Guaranty: \_\_\_\_\_

Date County first able to call Guaranty (Construction Completion Deadline): \_\_\_\_\_

If Guaranty other than a Bond, last day County able to call Guaranty is:

Additional information: \_\_\_\_\_

6. Notice of Start of Construction. Before construction begins, the Developer shall deliver an acceptable Notice to Proceed to the County and shall arrange for a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the County receives Developer's final acceptance package, the County shall review it for completeness and accuracy. If the package is acceptable, the County shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Developer's obligations to the County pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Developer has provided to assure the materials and workmanship, as required by this Agreement. After the County approves the final acceptance package, the County will promptly release this Agreement and the Financial Guaranty.

8. Conveyance of Property Rights. When the Improvements are completed, if the County does not own the real property upon, or in which, the public Improvements are constructed, the Developer will convey to the County all real and personal property rights which the County deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the County will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Developer shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Non-Loan Reserve Financial Guaranty. If a Financial Guaranty other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed, and completed in substantial compliance with the approved construction plans, as determined by County on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all County requirements, the County Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the Developer must submit the following documents to the County for review and approval:

(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the County;

(2) A bond or other instrument acceptable to the County, which guarantees the completed Improvements against defective materials and workmanship for twelve months.

(3) Conveyance of real and personal property rights which meet the

requirements of section 8 of this Agreement.

After the County receives and approves the required documents, the County shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the County, the Developer shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Developer agrees to indemnify and hold harmless the County and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the acts or omissions of the Developer, its agents, representatives, contractors or subcontractors or arising from the failure of the Developer, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Developer herein. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

11. Assignment. This Agreement shall not be assigned without the prior written consent of the County and the Developer and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The County's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Site Development is sold, conveyed or assigned, the County will not release the Developer from its obligations under this Agreement and will continue to hold the Developer responsible for all Improvements until a successor in interest to the Developer has entered into a Development Improvements Agreement with the County. Thereafter, if the Developer's successor in interest has provided a substitute financial guaranty acceptable to the County, the County will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Developer fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the County may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Developer shall be jointly and severally liable to pay to, and indemnify the County for the total cost, including, but not limited to, engineering, legal, and contingent costs, together with any damages, either direct or consequential, which the County may sustain as a result of Developer's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the County exceed the amount of the County's Claim of Lien or any Financial Guaranty, the Developer shall be liable to, and shall pay, the County for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the County for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Developer's Property. The provisions of this Agreement constitute covenants running with Developer's Property for the benefit of the County and its successors and assigns until terminated, and are binding on the Developer and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Developer's and the County's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six (6) days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Developer agrees that changes to this form are not binding unless initialed by the Developer and signed by the County Legal Department on this form.

21. Authority to Execute. If the Developer signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.

Executed on the date stated in the first paragraph of this Agreement.

DEVELOPER: \_\_\_\_\_

MCKINLEY COUNTY

By [Signature]: \_\_\_\_\_

By: \_\_\_\_\_

Name [Print]: \_\_\_\_\_

Anthony Dimas, County Manager

Title: \_\_\_\_\_

Dated: \_\_\_\_\_

Dated: \_\_\_\_\_



DEVELOPER'S NOTARY

STATE OF \_\_\_\_\_ )  
 ) ss.  
COUNTY OF MCKINLEY )

This instrument was acknowledged before me on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_,  
by [name of person:] \_\_\_\_\_, [title or capacity, for instance,  
"President" or "Owner":] \_\_\_\_\_ of  
[Developer:] \_\_\_\_\_.

(SEAL)

My Commission Expires:

\_\_\_\_\_  
Notary Public

COUNTY'S NOTARY

STATE OF NEW MEXICO )  
 ) ss.  
COUNTY OF MCKINLEY )

This instrument was acknowledged before me on this \_\_\_\_\_ day of \_\_\_\_\_,  
20\_\_\_\_, by Anthony Dimas, County Manager of McKinley County, a political sub-division, on  
behalf of said corporation.

(SEAL)

My Commission Expires:

\_\_\_\_\_  
Notary Public

# BUILDING PERMIT GUIDE FOR COMMERCIAL CONSTRUCTION

State of New Mexico Regulation and Licensing Department Construction Industries Division

Albuquerque Office: 5500 San Antonio Dr NE  
Las Cruces Office: 505 S. Main, Ste 103  
Santa Fe Office: 2550 Cerrillos rd

P.O. Box 939  
P.O. Box 25101

Albuquerque, New Mexico 87113  
Las Cruces, New Mexico 88004-0939  
Santa Fe, New Mexico 87504

(505) 222-9800 FAX (505) 765-5670  
(505) 524-6320 FAX (505) 524-6319  
(505) 476-4700 FAX (505) 476-4619

## PERMIT APPLICATION DATA

To obtain a permit, the applicant shall fill out an APPLICATION for STATE BUILDING PERMIT supplied by the Construction Industries Division office. Applicant must supply description of work, building address, construction material, total square footage, specific use of building, project owner's name and address, contractor's business name, address and license number, architect's name, address and license number. The licensed contractor requesting the permit must sign the application. Call (505) 476-4869 for more information.

## ZONING APPROVAL

Your project may be located in an area requiring zoning approval from a city or county zoning authority. You must obtain zoning approval and a signature on the APPLICATION for STATE BUILDING PERMIT *before* applying to this office for the building permit. Contact the Construction Industries Division for zoning requirements in your area.

## VALUATION AND FEES

Valuation of your project is based CID Rules New Mexico Administrative code 14.5.5.10 . The project does need the signed contract between the project owner and contractor. The fee, which covers plan review, the permit notice and required inspections, is based on the valuation amount. Our office will calculate the valuation and fee for you. *If you are mailing the application and plans to the nearest CID office, call any of the offices listed above for the fee prior to mailing.*

## PLAN SUBMITTAL

Two complete sets of plans and specifications must be submitted to Construction Industries Division for permit and must be sufficiently clear to show the project in its entirety. Following is a minimum standard of required drawings for review by Construction Industries Division for new commercial construction, additions, and remodels (use as a checklist when preparing your submittal):

### 1. COVER SHEET.

- Project identification
- Project address and a location map
- All design professionals identified
- The prime design professional (the professional responsible for project coordination) must be identified. All communications should be directed through this individual
- Design Criteria list:
  - Type of building construction (IBC Chapter 6)
  - Square Footage area of each floor or wing and total building square footage
  - Group or use and occupancy (IBC CHAPTER 3) including mixed occupancies if applicable
  - Occupant load (IBC Chapter 10, Table 10004.1.1)
  - Allowable area calculations
  - Exiting requirements
  - Plumbing fixture requirements based on IBC Chapter 29,
  - Fire sprinklers
  - Height and number of stories
  - Land use zone
  - Location of property
  - Seismic location

2. **SITE PLAN.** Show proposed new structures and any existing buildings or structures on site, all property lines with dimensions, all streets, easements and setbacks. Show all water, sewer, electrical points of connection, proposed service routes and existing utilities on

the site. Show all required parking per New Mexico Building Code, including accessible parking, access aisles and ramps per ANSI. Show drainage and grading information. Indicate drainage inflow and outflow locations and specify areas required to be maintained for drainage purposes. When appropriate, include a topographical survey. Show north arrow.

- FOUNDATION PLAN.** Show all foundations and footings. Indicate size, location, thickness, materials and strengths (including concrete strength) and reinforcing. Show all imbedded anchoring such as anchor bolts, hold-downs, post bases, etc. Provide a geotechnical report, including soil-bearing capacity, for the purposed structure at that site.
- FLOOR PLAN.** Show all floors including basements. Show all rooms, with their use, overall dimensions and locations of all structural elements and openings. Show all doors and windows. Provide door and window schedules. All fire assemblies, door label ratings, area and occupancy separations and draft stops shall be shown. Include exiting requirements.
- FRAMING PLANS AND ROOF FRAMING PLANS.** Show all structural members, their size, methods of attachment, location and materials for floors and roofs. Show roof plan.
- EXTERIOR ELEVATIONS.** Show all views. Show all vertical dimensions and heights. Show all openings and identify all materials and show lateral bracing system, where applicable.
- BUILDING SECTIONS AND WALL SECTIONS.** Show & label materials of construction, non-rated and fire-rated assemblies and fire-rated penetrations. Show dimension of all heights.
- MECHANICAL SYSTEM.** Show the entire mechanical system. Include all units, their sizes, mounting details, all duct work and duct sizes. Indicate all fire dampers where required. Provide equipment schedules. The State Fire Marshall's Office shall approve sprinkler systems plans. Submit energy conservation calculations per 2009 Model Energy Code requirements.
- PLUMBING SYSTEM.** Show plumbing riser diagrams, all fixtures, piping, slopes, materials and sizes. Show points of connection to utilities, septic systems, pre-treatment sewer systems and water wells.
- ELECTRICAL SYSTEM.** Show electrical riser diagrams, all electrical fixtures (interior, exterior and site) wiring sizes and circuiting, grounding, panel schedules, single line diagrams, instantaneous fault current, load calculations and fixture schedules. Show lighting calculations and point of connection to utility.
- STRUCTURAL CALCULATIONS.** Where required, provide structural calculations for the entire structural system of the project. Include wind, roof and floor design loads.
- SPECIFICATIONS.** Either on the drawings or in booklet form, further define construction components, covering materials and methods of construction, wall finishes and all pertinent equipment. Schedules may be incorporated into a project manual in lieu of drawings.
- ADDENDA AND CHANGES.** It shall be the responsibility of the individual identified on the cover sheet as the prime design professional to notify the building official of any and all changes throughout the project and provide revised plans, calculations and other appropriate documents prior to actual construction.
- REVISIONS.** For clarity, all revisions should be identified with a delta symbol and clouded on the drawings or resubmitted as a new plan set.

## REQUIREMENTS FOR PROFESSIONAL SEALS

When any professional seal is required for a building permit, every standard page of the construction documents must bear a professional seal with original signature and date, certifying professional responsibility for every aspect of the project. Referenced serial drawings do not require a seal.

### SINGLE SEAL REQUIREMENT

The single seal of either a New Mexico registered engineer (structural) or architect meets the requirement for professional certification on projects that do not exceed a construction valuation of four hundred thousand dollars (\$400,000) and do not exceed a total occupant load of fifty (50).

Nonresidential buildings, as defined in the 2015 International Building Codes, or additions having a total occupant load of ten (10) or less and not more than two (2) stories in height, which shall not include E-3, H, or I occupancies, will not require the seal of either an architect or engineer, unless the Construction Industries Division determines such seal is necessary to protect public life, safety and welfare.

Plans, specifications and calculations stamped by an Electrical Engineer licensed to practice in New Mexico shall be required for any installation with a calculated service capacity over 100 kVA single-phase or over 225 kVA three-phase. This requirement shall NOT apply to remote installations such as single irrigation pumps.

Plans, specifications and calculations stamped by a Mechanical Engineer licensed to practice in New Mexico may be required on mechanical permits of \$50,000.00 or more in value and/or commercial buildings three stories and higher.

### MULTIPLE SEALS REQUIREMENT

The professional seals of both an architect and an engineer (structural) (or engineers) are required on projects with either a construction valuation greater than four hundred thousand dollars (\$400,000.00) or a total occupant load greater than fifty (50). Occupant load shall be in accordance with Table 1004.1.2 of 2015 International Building Code.

## REQUIRED INSPECTIONS

To request an inspection e-mail us at [CID.Inspection@state.nm.us](mailto:CID.Inspection@state.nm.us) our call 505-222-9813 or 877-243-0979

- FOUNDATION INSPECTION.** To be made after excavations for footings are complete and any required reinforcing steel is in place. For concrete foundations, any required forms shall be in place prior to inspection. All materials for the foundation shall be on the job, except where concrete is ready mixed in accordance with approved nationally recognized standards, the concrete need not be on the job. Where the foundation is to be constructed of approved treated wood, additional inspections may be required by the building official.
- CONCRETE SLAB or UNDER-FLOOR INSPECTION.** To be made after all in-slab or under-floor building service equipment, conduit, piping accessories and other ancillary equipment items are in place, but before any concrete is placed or floor sheathing installed, including the subfloor.
- FRAME INSPECTION.** To be made after the roof, all framing, fire blocking and bracing are in place and all pipes, chimneys and vents are complete and the rough electrical, plumbing, and heating wires, pipes and ducts are approved.
- WEATHER-RESISTIVE BARRIER INSPECTION.** To be made after installation of the appropriate weather-resistive barrier and before such barrier is covered.
- FINAL INSPECTION.** To be made after finish grading and the building is completed and ready for occupancy. Final electrical, plumbing and mechanical inspections must be conducted prior to final general

construction inspection. The Construction Inspector will issue the Certificate of Occupancy to the contractor after approving final general construction inspection.

- OTHER INSPECTIONS.** In addition to the called inspections specified above, the Construction Inspector may make or require other inspections of any construction work to ascertain compliance with provisions of the New Mexico Building Code and other laws which are enforced by the code enforcement agency. The licensed plumber and electrician performing the work under the appropriate permits are responsible for coordinating plumbing, mechanical and electrical inspections.

## CERTIFICATE OF OCCUPANCY

No building or structure shall be used or occupied, and no change in the existing occupancy classification of a building or structure or portion thereof shall be made until the building official has issued a certification of occupancy as provided.

## COMMERCIAL DEMOLITION AND RENOVATION

Call the Air Pollution Control bureau for information regarding the handling of asbestos containing materials at 1-800-224-7009 prior to demolition and renovation of existing commercial structures. The Air Pollution Control Bureau must be notified 10 days in advance of any demolition and renovation of commercial structures.

## APPLICABLE CODES

The Construction Industries Division currently enforces the following codes:

- 2015 New Mexico Commercial & Residential Building Code
- 2015 International Building Code
- 2015 International Residential Code
- 2015 International Existing Building Code
- 2012 Solar Energy Code (IAPMO)
- 2009 NM Energy Conservation Code
- ICC/ANSI A117.1-2009
- 2015 New Mexico Plumbing and Mechanical Code
- 2015 Uniform Mechanical Code (IAPMO)
- 2015 Uniform Plumbing Code (IAPMO)
- 2012 Uniform Swimming Pool, Spa and Hot Tub Code
- 2012 Uniform Solar Energy Code
- 2017 New Mexico Electrical Code
- 2017 National Electrical Code
- 2012 National Electrical Safety Code
- Liquefied Petroleum Gas Standards
  - 2017 NFPA 58
  - 2012 NFPA 57
  - 2015 NFPA 54
  - 2010 NFPA 52
  - 2011 NFPA 1192

## ACCESSIBILITY


Accessibility requirements are detailed in Chapter 11, Accessibility, of the New Mexico Building Code, and supercede Chapter 11, Accessibility, of the International Building Code. The adopted standard of quality for accessible design is the ICC/ANSI A117.1-2009 "Accessible and Usable Buildings and Facilities".

## CONSTRUCTION INDUSTRIES DIVISION WEB SITE

CID has developed a new information web site with "view only" information at [WWW.STATE.NM.US/RLD/CID](http://WWW.STATE.NM.US/RLD/CID). This site includes information of interest to consumers, business and the regulated community.

## CONTRACTOR LICENSE LOOK-UP

A license web site has been developed at [WWW.CONTRACTORSNM.COM](http://WWW.CONTRACTORSNM.COM). This site includes the names, addresses and telephone numbers of licensed contractors and their license classification. It also includes information on licensing and required qualifications for license examination.

	<b>Multi- Purpose State Building Application</b>	<b>G</b>
State of New Mexico Santa Fe Albuquerque Las Cruces	Regulation and Licensing Department 2550 Cerrillos Rd 5500 San Antonio NE 505 S. Main St. Ste. 103	Construction Industries Division Santa Fe, NM 87505 Albuquerque, NM 87109 Las Cruces, NM 88004
Phone: (505) 476 - 4700 (505) 222 - 9800 (575) 524 - 6320		
Fax: (505) 476 - 4685 (505) 765 - 5670 (575) 524 - 6319		
<input type="checkbox"/> <b>Building Permit</b> (Commercial includes electrical/mechanical/plumbing reviews) <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Pre-Bid <input type="checkbox"/> <b>Trade Review Only</b>		
<input type="checkbox"/> New Construction <input type="checkbox"/> Alteration/Repairs/Demolition <input type="checkbox"/> Additions <input type="checkbox"/> Foundation only <input type="checkbox"/> Reroof <input type="checkbox"/> Electrical Review <input type="checkbox"/> Mechanical/Plumbing Review		
<input type="checkbox"/> wood <input type="checkbox"/> metal frame <input type="checkbox"/> masonry <input type="checkbox"/> adobe <input type="checkbox"/> rammed earth <input type="checkbox"/> metal structure <input type="checkbox"/> other		
<b>Destription of work:</b> _____		
<b>THE FOLLOWING INFORMATION MUST BE PROVIDED</b>		
Physical Address of job site (must provide a physical address) _____ Nearest City/Town/Village _____ Zip Code _____ County _____		
GPS Coordinates optional _____ X Coordinate _____ Y Coordinate _____		
<b>MUST provide written Directions</b>		
_____		
_____		
<b>Property Owner or Homeowner Information:</b>		
First Name _____ Last Name _____ E-mail address: _____		
Address No. & Street / PO Box / Rural Route _____ City _____ State _____ Zip Code _____ Phone _____		
<b>Contractor Information (must provide proof of contract):</b>		
Company Name _____ NM State License # and classification _____		
Address No. & Street / PO Box / Rural Route _____ City _____ State _____ E-Mail Address: _____		
Contact Information (Name) _____ Phone _____ Fax _____		
<b>Design Professional Information:</b>		
Company Name _____ NM State License # _____		
Address No. & Street / PO Box / Rural Route _____ City _____ State _____		
Contact Information (Name) _____ Phone _____ E-mail address: _____		
Type of Construction <input type="checkbox"/> I <input type="checkbox"/> II <input type="checkbox"/> III <input type="checkbox"/> IV <input type="checkbox"/> V <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> Energy Compliance <input type="checkbox"/> Prescriptive <input type="checkbox"/> Trade-off <input type="checkbox"/> Performance <input type="checkbox"/> Energy Code Not Applicable		
Occupancy Group <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> H <input type="checkbox"/> I <input type="checkbox"/> M <input type="checkbox"/> R <input type="checkbox"/> S <input type="checkbox"/> U         Climate Zone: <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> 6 <input type="checkbox"/> 7		
Division <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5		
Square Footage: _____		
Valuation / Sign Contract: _____ Fire Sprinklers Apply Y / N LP gas Appliance Apply Y / N		
APPLICANT MUST READ AND SIGN THE FOLLOWING: I hereby acknowledge by my signature below that I have read this application and state that the above is correct. I agree to comply with the requirements for the New Mexico Building Code. I waive my right to require any inspector to possess a search warrant before they enter the premises to inspect the building covered by this permit. However, I waive this right only on the following conditions: The inspector must be approved by the Construction Industries Division and this inspection must be made at reasonable times for purpose of determining whether the work of building or structure on the premises complies with the New Mexico Building Code. I understand that the issuance of this permit shall not prevent the Construction Industries Division from requiring compliance with the provisions of the New Mexico Building Code.		
X _____ Signature _____ Date _____		
<b>Official Use Only</b>		
Date Issued: _____ Processed By: _____ Tracking Number: _____		
Received By: _____ Total Fees Due: _____		
<input type="checkbox"/> Walk In <input type="checkbox"/> Mail <input type="checkbox"/> E-Mail: _____ Partial Payment: _____		
<input type="checkbox"/> Check <input type="checkbox"/> Money Order <input type="checkbox"/> Credit Card <input type="checkbox"/> Purchase Order _____ Balance Due: _____		
PLANNING/ZONING APPROVED BY: _____ Signature _____ Date: _____		
FLOOD PLAIN APPROVED BY: _____ Signature _____ Date: _____		
GENERAL BUILDING APPROVED BY: _____ Signature _____ Date: _____		
UPC/UMC APPROVED BY: _____ Signature _____ Date: _____		
NEC APPROVED BY: _____ Signature _____ Date: _____		

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## Appendix G – BNSF Site Certification Information

**Prewitt Industrial Park**  
MASTER PLAN AND PRELIMINARY DESIGN



**WILSON  
& COMPANY**  
HIGHER RELATIONSHIPS

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BNSF Certified Sites are industrial parks that have gone through a vigorous review process to guarantee the site is ready for development. The Prewitt Industrial Park parcel sites offer direct rail service for customers looking to locate along BNSF Transcon. This appendix provides a copy of the application (see following page) with support documentation, including conceptual track plan. BNSF has indicated that the Site Certification process does not have a defined timeline and is often driven by number of applicants and timing that may take up to a year, before any decision is made.

The forms and information provided are the following:

1. BNSF Site Certification Pre-Application
2. Conceptual rail layout
3. Prewitt Industrial Park Site Boundary Limits

# BNSF SITE CERTIFICATION PRE-APPLICATION



Requestor's Name:		Phone & Email:	
Site Location (City, State):			
Site Name:		Total Site Size (Acres):	
Any Limits on Site Use (water/wetlands, roads, other obstructions):			
Current Zoning:			
Site Owner:		Publicly Owned <input type="checkbox"/> Privately Owned <input type="checkbox"/>	
Owner is prepared to make two year commitment on sale/lease terms and price: Yes <input type="checkbox"/> No <input type="checkbox"/>			
Utilities can be available at site within six months: Electricity <input type="checkbox"/> Natural Gas <input type="checkbox"/> Water <input type="checkbox"/> Waste Water <input type="checkbox"/>			
Phase 1 Environmental Site Assessment: Yes <input type="checkbox"/> No <input type="checkbox"/>		Year Completed:	
Geotechnical Investigation: Yes <input type="checkbox"/> No <input type="checkbox"/>		Year Completed:	
Cultural Resources & Threatened/Endangered Species Study: Yes <input type="checkbox"/> No <input type="checkbox"/>		Year Completed:	
Rail On-Site: Yes <input type="checkbox"/> No <input type="checkbox"/>		Rail Provider:	
<p><b>NOTE:</b> A recent aerial photo which clearly shows the site boundaries and proposed connection to BNSF Railway must be submitted with the BNSF Site Certification Pre-Application. Please return the completed form with an updated aerial to <a href="mailto:Shauna.Stagner@BNSF.com">Shauna.Stagner@BNSF.com</a>.</p> <p>This application is to assist in determining the availability of certain data and level of readiness of industrial sites being proposed for certification. Submittal of this form does not assure that any site will be accepted into the program. If the site is selected then you may be required to submit a \$500 fee to continue the certification process.</p>			

## Pre-Application Information

Total Site Size: 625.85 acres

Limits on Site Use: None

Current Zoning: None. McKinley County does not have zoning regulations.

Site owner: New Mexico State Land Office

Owner is prepared to make two-year commitment on sale/lease terms and price (yes)

Utilities can be available at site within six months: (yes)

Phase I Environmental Site Assessment: Completed May 2020

No geotechnical investigation has been completed.

Full Cultural Resources & Threatened/Endangered Species studies have not been completed.

Rail On-Site: No





## Appendix H – Site Marketing Brochure

**Prewitt Industrial Park**  
MASTER PLAN AND PRELIMINARY DESIGN



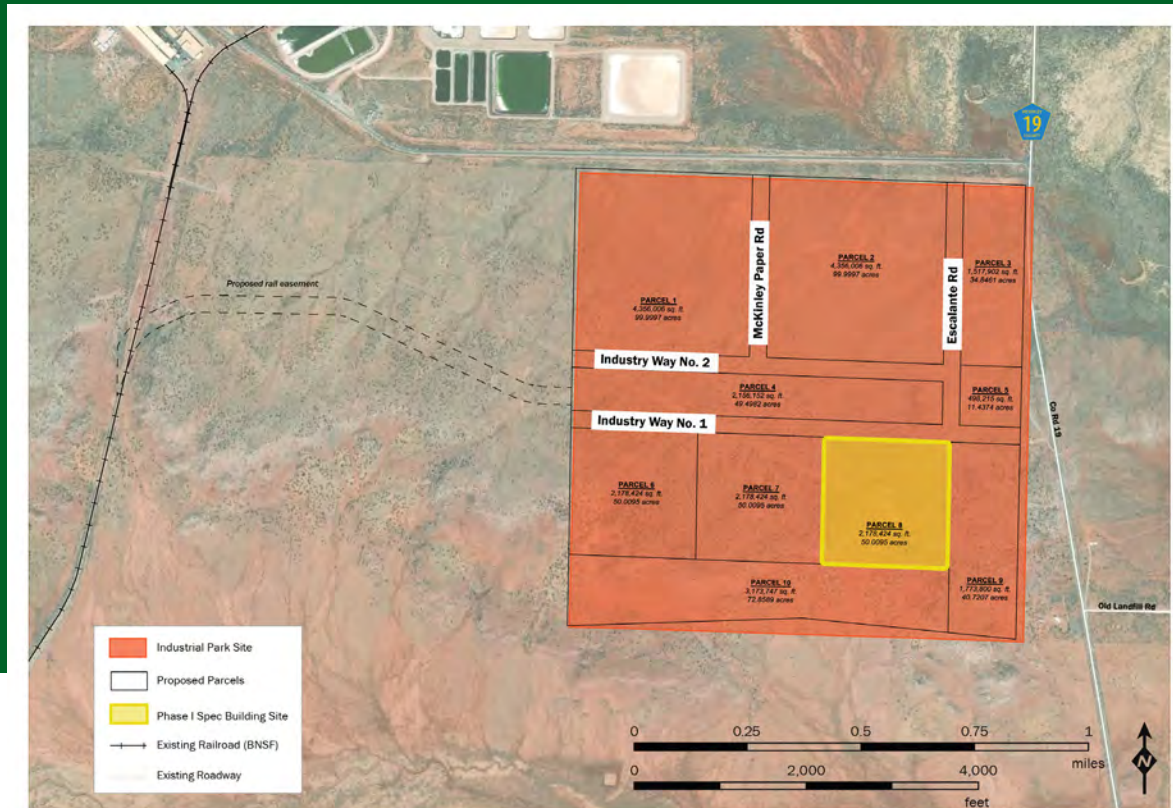
**WILSON  
& COMPANY**  
HIGHER RELATIONSHIPS

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COMING JULY 2020

## ECONOMIC DEVELOPMENT INCENTIVES

- Job Training Incentive Program (JTIP)
- Local Economic Development Act (LEDA) promotes Public Private Partnership for an economic benefit
- Rural Jobs Tax Credit



Recommended Site – Phase I Spec Building

Prewitt Industrial Park  
MASTER PLAN AND PRELIMINARY DESIGN





## CONTACT INFORMATION

102 W. Hill Avenue, PO Box 1795  
Gallup, NM 87301

505 772 2980 (p)  
505 722 2987 (f)  
gallupcdc.com



# PREWITT

# INDUSTRIAL PARK

# PREWITT INDUSTRIAL PARK

Prewitt Industrial Park is a 625.85-acre, master-planned industrial development located in Prewitt, New Mexico with direct access to Interstate 40 (I-40) and the BNSF Southern Transcon. The Prewitt Rail-Served Industrial Rail Park offers a great location with easy access to transportation logistics, low front-end capital investment, development incentives, and quick space move-in. Prewitt Industrial Park is designed to support warehouse/logistics, energy supply, and manufacturing operations.



## ADVANTAGES

- Access to I-40, is a major east-west Interstate Highway running through the south-central portion of the United States.
- I-40 runs through or near many major cities including Albuquerque, New Mexico; Amarillo, Texas; Oklahoma City, Oklahoma; Little Rock, Arkansas; Memphis, Tennessee; Nashville, Tennessee; Knoxville, Tennessee; Greensboro, North Carolina; and Raleigh, North Carolina.
- Access to the Southern Transcon, which is a railroad corridor between Southern California and Chicago, Illinois and serves as a BNSF Railway main line made up of 11 rail lines between Southern California and Chicago.
- Easy access to utilities and supported by quality roadway and drainage infrastructure.



## 120,000 SF SPEC BUILDING

- Tilt-up concrete construction for cost effective and time sensitive solutions
- Facilitated permitting process
- Preliminary Spec Building Design Plans available

## ACCESS

- Major Highway I-40
- BNSF Southern Transcon
- Nestled midway between Gallup and Grants, NM

## WORKFORCE SOLUTIONS

- New Mexico State University (NMSU) grants available for workforce development
- Accessible local workforce supported by Albuquerque which is approximately 1 hour and 30 minutes away
- Job Training Incentive Program (JTIP) funds classroom and on-the-job training for newly-created jobs

INTERMODAL FACILITY CAPACITY  
BNSF 2017 Intermodal Density Flow





## Appendix I – Utility Information

**Prewitt Industrial Park**  
MASTER PLAN AND PRELIMINARY DESIGN



**WILSON & COMPANY**  
HIGHER RELATIONSHIPS

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## 1 Overview

This appendix includes information on private utilities provided to the project team. This information includes details on the process, cost, and specifications needed to expand these utilities to new developments within the Industrial Park site. Information is provided for electric and internet. Natural gas information was not available but can be obtained from New Mexico Gas Company. Potable water would be provided by wells, and wastewater service would be available through on-site septic or evapotranspiration systems.

## 2 Electric

Continental Divide Electric Cooperative is the power provider in both Milan and Prewitt. The rules of engagement vary depending on the power supply needs, which in turn will require Primary or Secondary line tie-in. Using the notes outlined below, contractors will be expected to prepare and provide a sketch or set of plans showing the installation. Where contractor is specified the intent of this memo is that it is a licensed electrical contractor doing the work. CDEC will review the proposed sketch or plans and approve or specify specific changes that need to be made. The approval will need to be done prior to and work being done. The procedures for underground line installation are detailed in Section 2.2 "Contractor Specifications."

### 2.1 HIGH-LEVEL COST ESTIMATE

A build-out scenario using the 120,000 SF Spec Building is the basis of cost estimating the necessary power supply investment. A service agreement with Continental Divide Electric Cooperative will be required.

Prewitt Site			
Load	Voltage Regulator BANK	Capacitor Bank	Cost
~1 MW	100A VR		\$ 60,000
~2 MW	(2) 100A VR	900 KVAR	\$ 190,000
>4 MW	More information and further analysis is required		
<b>Right of Way</b>			
	Survey & Maps		\$ 15,000
	EA		\$ 7,000
	Arch		\$ 10,000
	BID		\$ 4,000
	ROW fees for State Land		\$ 5,000
	<b>Total ROW</b>		<b>\$ 41,000</b>

## 2.2 CONTRACTOR SPECIFICATIONS

5 December 2002  
Amended 15 January 2004  
Amended 17 March 2006  
Amended 11 April 2007

### MEMO

To: Contractors

From: Continental Divide Electric Co-op.

Subject: Underground Installation

Using the notes outlined below in this memo, contractors will be expected to prepare and provide a sketch or set of plans showing the installation. Where contractor is specified the intent of this memo is that it is a licensed electrical contractor doing the work. CDEC will review the proposed sketch or plans and approve or specify specific changes that need to be made. The approval will need to be done prior to and work being done. In order to have underground line installations that go smoothly the following are the procedures that need to be followed:

#### Primary Line

- Contractor will trench and place conduit's minimum of 36" deep (from top of conduit). Backfill will be free of large rocks (none in excess of 1/2"). Warning tape to be installed 12" above electrical conduit. One tape for every conduit installed in the trench.
- One conduit per phase. One spare conduit will be installed in the trench, regardless of phasing required. Conduit shall be 3" PVC SCD 40 if there is no traffic crossing the line or SCD 40 with 4" concrete covering /encasement.
- Pull boxes will be required for any distances greater than 400'.
- Direct burial of the primary cables is at the discretion of CDEC only.
- All sweeps shall be long rigid sweeps (24" or greater).
- The first joint (stick) of conduit will be installed by contractor out of the ground up the pole. Reducers from 3" to 2" will be furnished by contractor if required by CDEC. CDEC will furnish standoffs
- CDEC will furnish and install Primary conductor.
- CDEC requires a 24hr. advance notice to inspect the trench prior to back filling. If notice is given on Friday, the inspection date will begin 24 hours from Monday or the first work day following a holiday.
- Trench will be recompacted to 95% original
- Pull Strings to be installed by contractor

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#### Secondary and Service Lines

- Contractor will trench and place conduit(s) minimum 34" deep (from top of conduit). Backfill will be free of rocks, nothing in excess of 1/2" in size. Warning tape to be installed 12" above electrical conduit. One tape for every conduit installed in the trench.
- Conduit shall be 3" PVC SCD 40 if there is no traffic crossing the line or SCD 40 with 4" concrete covering /encasement.
- All sweeps shall be long rigid sweeps (18" or greater).
- The first joint (stick) of conduit will be installed by contractor out of the ground up the pole. Reducers from 3" to 2" will be furnished by contractor if required by CDEC. CDEC will furnish standoffs
- CDEC or contractor will install secondary conductor, this will be agreed to prior to starting work. Generally for large amp, particularly three-phase service, the contractor will install conductor.
- Direct burial of the electrical cables is at the discretion of CDEC only.
- CDEC requires a 24hr. advance notice to inspect the trench prior to back filling. If notice is given on Friday, the inspection date will begin 24 hours from Monday or the first work day following a holiday.
- Pull Strings to be installed by contractor
- Trench will be recompacted to 90% original.

#### Transformer or Switch Pad

- CDEC will furnish specs for all pad mount transformers or switches.
- CDEC requires a 24hr. advance notice to inspect the pad form prior to placing concrete. If notice is given on Friday, the inspection date will begin 24 hours from Monday or the first work day following a holiday.
- Concrete Testing, 3000 pounds min., 4% to 6% entrained air, 3/4" max. size aggregate
- Pad to have 3" buffer from re-bar steel to edge of pad
- Tool or Chamfer edges
- Minimum concrete cover over steel re-bar 3" unless noted other wise
- Wood float finish, leaving no depressions
- Conduit sweeps in and out of pad to be even with top of pad, free of sharp points and ends to be smooth
- The space between the primary and secondary conduits in the pad trough to be not less than 12"
- Trough to be free from excess concrete

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Pull Boxes

- CDEC will furnish specs and size requirements for pull boxes/splice box.
- Contractor will install pull boxes per manufacture's specs. A minimum of 6" but no more than 8" of the box will be exposed the above finished grade.
- CDEC requires a 24hr. advance notice to inspect the around the pull boxes prior to back filling. If notice is given on Friday, the inspection date will begin 24 hours from Monday or the first work day following a holiday.
- Compaction around the box will be complete and at 90%.

Metering

- Contractor will furnish and install correct meter and correct C.T. cans per CDEC specs. Note that both cans are required to have 3/4" plywood to mount meters and C.T.s on.
- CDEC will furnish C.T.s and metering equipment.
- Contractor will contact CDEC metering department for correct metering installation and make arrangements for picking up C.T.s and furnishing backboard from meter can for CDEC to mount metering equipment.
- Contractor will install C.T.'s
- CDEC will install metering; service can not be energized until metering is installed.

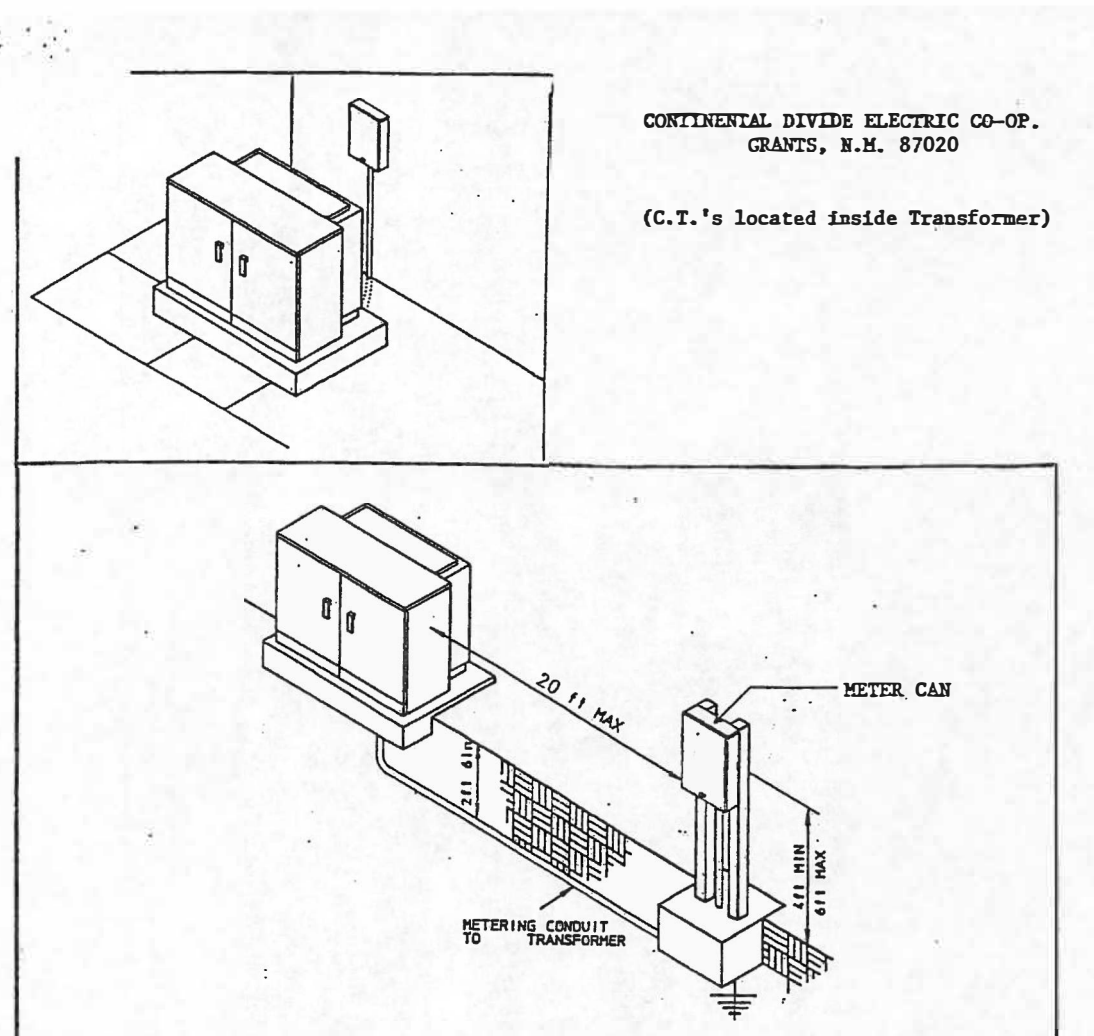
Energize Service

- All electrical work must be inspected and approved by the N.M. State inspector or a letter of compliance from the licensed electrical contractor certification that the installation complies with the NEC; this must have the contractor's signature and license number. A letter of compliance is accepted only if the service is not under state jurisdiction, i.e. on Indian Lands or no state funds are being used in the project. The service can not be energized until these conditions are met.

Attachment Drawings

- Concrete Transformer Pad – Sample only for the purpose to see lay out of conduits. Dimensions could be different depending on manufacture of the transformer
- Metering Sketch for C.T.'s located on the inside the Transformer
- Guard Post to be located around the transformer for protection against traffic or other large objects that could hit the transformer and cause damage

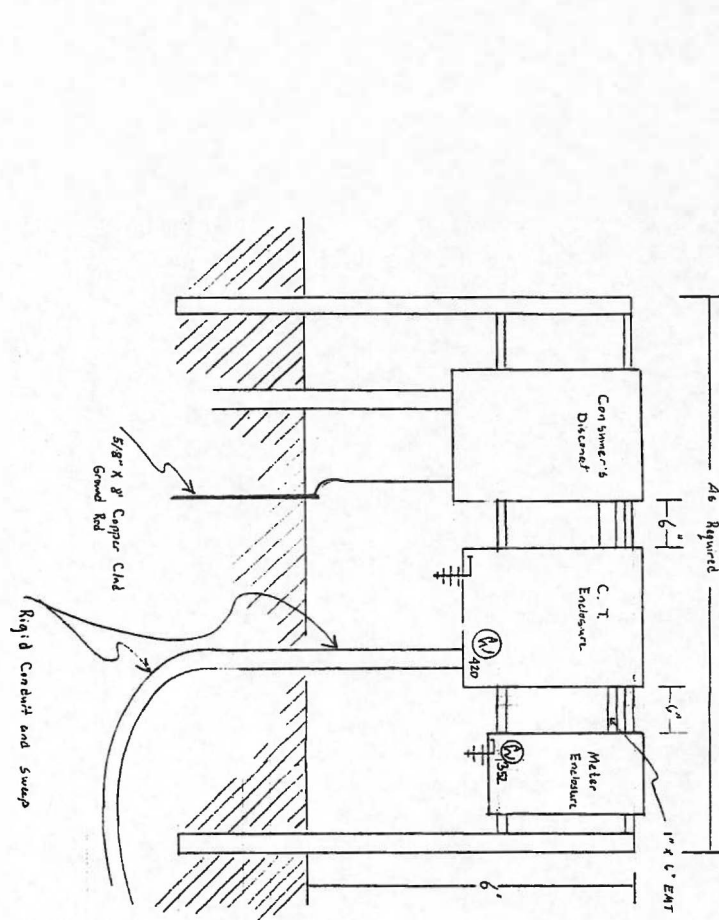
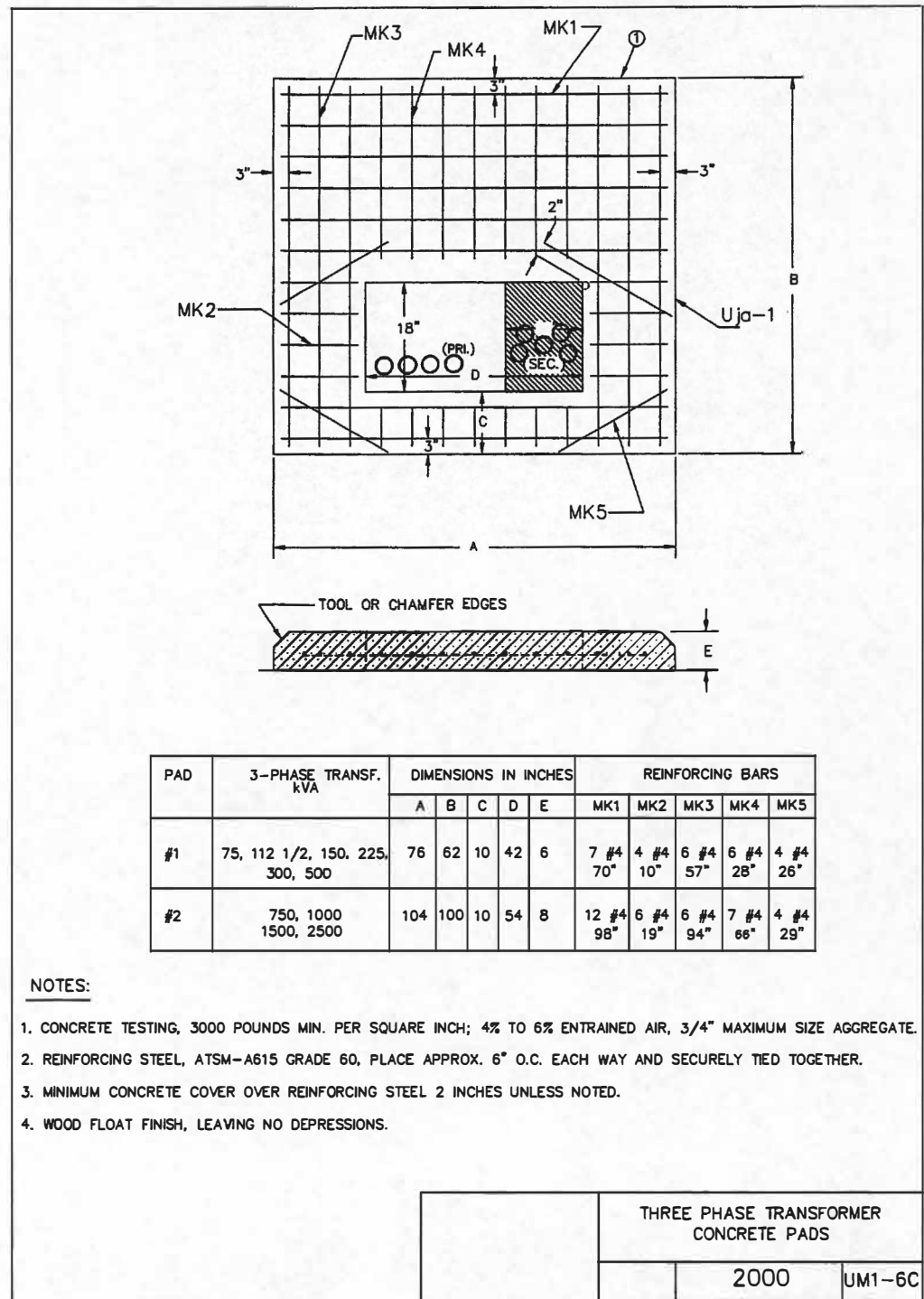
For any questions regarding this memo please call the Grants office at (505) 285-6656 or Gallup Office at (505) 863-4137or 3641.



CONTINENTAL DIVIDE ELECTRIC CO-OP.  
GRANTS, N.M. 87020

(C.T.'s located inside Transformer)

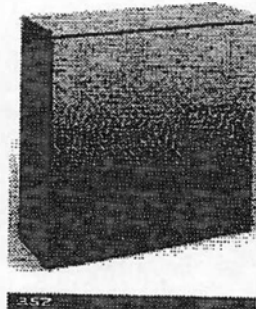
- Meter Can to be Circle AW #352 or equivalent.
- Acceptable Support Members are as Follows:  
3in X 3in 1/2in Angle  
3in X 4.1lbs/ft Channel  
2in X 2in 3/16in Box Steel  
2-1/2in Standard Pipe
- Equipment shall be Securely attached to support members either bolted directly or mounted to metal channel or unistrut cross members.
- Contact CDEC customer service representative to assure proper location.
- The conduit must be 1 in Rigid Galvanized or 1 in. PVC SCD 40.
- Minimum #6 CU Ground wire. Connector and Rod per NEC Article 250. A separate copper grounding electrode conductor sized in accordance with NEC Table 250-94 must be provided for connection to CDEC Transformer and need 8' foot ground rod.



- Note:
1. Stand Pipe 2" Rigid w/ cap welded on top
  2. Conduit steel between stand pipe to be 1 1/2" x 3/4" angle but welded to stand pipe
  3. Std. stand pipe in concrete 3' deep
  4. C.T. enclosure to be equal to Circle AW 120
  5. Meter enclosure to be equal to Circle AW 1392
  6. C.T. and Meter enclosure are required to have 3/4" plywood backing mounted inside the enclosures
  7. Conduit between C.T. enclosure and disconnect entering C.T. enclosure and exiting disconnect to be sized for conductor size and number of runs
  8. C.T. and meter enclosure locations can be reversed if required for ease of pulling in conductors

REVISED DATE 1/95  
 DRAWN BY MB DATE 6/95  
 CHECKED BY [Signature] DATE 6/95  
 QUANTITY Large Power Service Enclosure  
 UNDERGROUND - Not Attached to  
 SHEET NO. 1 OF 1  
 JOB NO.  
 COMMENTARY DRIVE ELECTRIC COOP, INC.

Utility/Current Transformer Metering  
Utility Enclosures



352 & 353D

APPLICATION

- Used primarily in special metering applications involving self-contained or CT metering

CONSTRUCTION

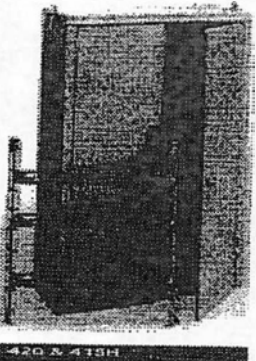
- Type 3R construction
- 28H x 28W x 11D
- Door hinged on right with padlock provision at left - 352 only
- Hinged, utility sealable meter window(s): 1 in 352 - 3 in 353D

FINISH

- ANSI 61 gray acrylic electrocoat finish

STANDARDS

- Not UL listed



420 & 415H

APPLICATION

- Used primarily in special metering applications involving CT metering

CONSTRUCTION

- Type 3R construction
- 48H x 34W x 13D
- Double-doors with sealable 3-pt latch handle
- 3/4 inch plywood backboard

FINISH

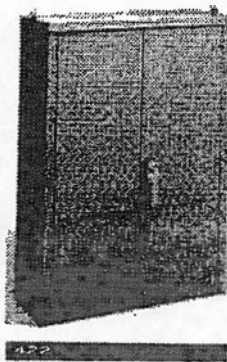
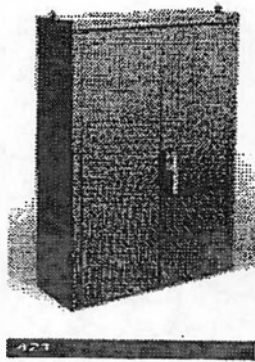
- ANSI 61 gray acrylic electrocoat finish

EQUIPMENT

- Equipment mounting racks, catalog #415 (33 x 36), 415H (26 x 28)

STANDARDS

- Not UL listed



421 & 422

APPLICATION

- Used primarily in special metering applications involving CT metering

CONSTRUCTION

- Type 3R construction
- 48H x 34W x 13D
- Double-doors with sealable 3-pt latch handle
- Hinged, utility sealable meter window(s): 1 in 421 - 2 in 422
- 3/4 inch plywood backboard

FINISH

- ANSI 61 gray acrylic electrocoat finish

STANDARDS

- Not UL listed

Data subject to change without notice. Consult local utility for area acceptance. All dimensions in inches.

COOPER B-Line 113

WATTHOUR METERS AND WATTHOUR DEMAND METERS—SOCKETS

Type SV-60 Polyphase Ringless Sockets

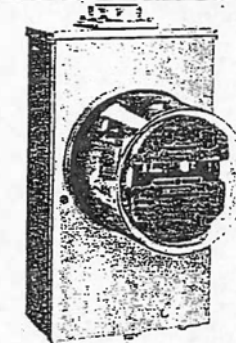
100-ampere Self-contained and 20-ampere Transformer-rated

WHERE TO USE

These outdoor Type SV-60 sockets are for use with self-contained and transformer-rated polyphase watthour meters having 7, 8, or 13 terminals. The socket connectors are suitable for use with either copper or aluminum wire.

For sockets suited for use with 5-terminal polyphase meters, see page 60.

The Type SV-60 sockets listed below have interchangeable hubs. Models with hub opening only are also available.



(Photo 1194158)  
Fig. 1. Type SV-60 socket with Type V-64-S meter installed

THESE CAN BE PURCHASED  
IN 300 AMP

DATA TABLE

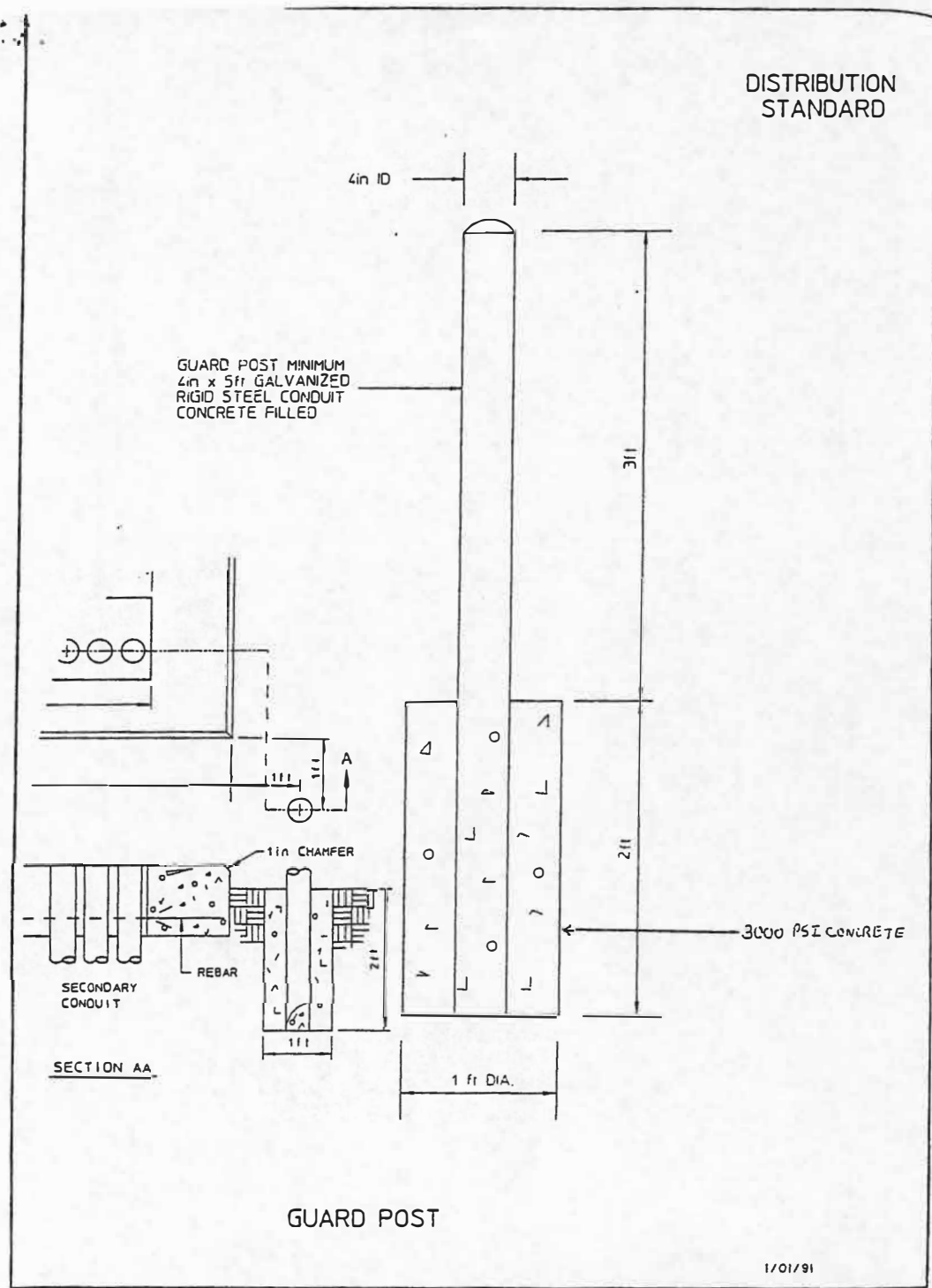
Circuit	Application	METER SELECTION			SOCKET SELECTION					
		ANSI C12.10 Form No.	Class	CE Type	Screw-type By-pass or Automatic Circuit Closer	Jaw Arrangements (See Page 56)	Hub Size in Inches	Steel Case Cat. No.	Aluminum Case Cat. No.	
WITHOUT UL LISTING										
3-phase, 3-wire delta	Self-contained	135	100	V-63	None	8	D	1 1/2	741X18G35	741X18G41
	Trans-rated	55	10 or 20	V-63	By-pass or Circuit closer	8	F	1 1/2	741X18G37	741X18G43
3-phase, 4-wire wye	Self-contained	165	100	V-64	None	7 1/2	A	1 1/2	741X18G11	741X18G17
	Trans-rated	95	10 or 20	V-64	By-pass	7 1/2	C	1 1/2	741X18G13	741X18G19
3-phase, 4-wire delta	Self-contained	145	100	V-65	Circuit closer	13	G	1 1/2	741X18G23	741X18G29
	Trans-rated	65	10 or 20	V-65	None	7 1/2	A	1 1/2	741X18G25	741X18G31
3-phase, 4-wire delta	Self-contained	155	100	V-66	None	7 1/2	A	1 1/2	741X18G11	741X18G17
	Trans-rated	85	10 or 20	V-66	By-pass or Circuit closer	7 1/2	C	1 1/2	741X18G13	741X18G19
WITH UL LISTING										
3-phase, 3-wire delta	Self-contained	135	100	V-63	None	8	D	1 1/2	741X21G3	.....
	Trans-rated	55	10 or 20	V-63	By-pass or Circuit closer	8	F	1 1/2	741X21G4	.....
3-phase, 4-wire wye	Self-contained	165	100	V-64	None	7	A	1 1/2	741X21G7	.....
	Trans-rated	95	10 or 20	V-64	By-pass	7	C	1 1/2	741X21G8	.....
3-phase, 4-wire delta	Self-contained	145	100	V-65	Circuit closer	13	G	1 1/2	741X21G9	.....
	Trans-rated	65	10 or 20	V-65	None	7	A	1 1/2	741X21G1	.....
3-phase, 4-wire delta	Self-contained	155	100	V-66	None	7	A	1 1/2	741X21G2	.....
	Trans-rated	85	10 or 20	V-66	By-pass or Circuit closer	7	C	1 1/2	741X21G5	.....

Ⓢ These 7-jaw, 100-ampere sockets are normally used on 4-wire Y or delta circuits. A lead is pre-wired from the lower right inside terminal to the socket ground/neutral connector, providing a common voltage connection.

SHIPPING INFORMATION

Sockets per Carton	Weight in Lbs	
	Steel	Aluminum
1	12.5	9





### **3 Internet**

Sacred Winds communication is the internet provider for both Milan and Prewitt. Sacred Winds Communications is capable of delivering up to 100 MB per customer. For those customers that require greater bandwidth, Sacred Winds Communications is capable of extending fiber within the platted Prewitt Industrial Park right-of-way and serve the respective tenants. Tenants may contact Misty Willock, sales department, at 720-629-5445 for rates. Sacred Winds Communications encourages developers to schedule a pre-development meeting to discuss wireless and internet communication needs so that accurate estimates for services can be developed.